



## Planning and Community Development City of Bellingham

### Design Review Board (DRB) / Historic Preservation Commission (HPC) Staff Report

<b>Project:</b>	Urban Village Design Review Update
<b>Project Location:</b>	Downtown, Waterfront, Old Town, Fairhaven, Fountain, Samish and Barkley urban villages
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### 1) Background

New construction and redevelopment projects in the City's urban villages are subject to a variety of design guidelines and regulations ("codes"), depending on the type of project and specifics contained in the respective urban village plan. Several assessments and policies have highlighted the need for an update to clarify, simplify and standardize the urban village design review regulations, guidelines and procedures. These include:

- 2014 City Center Implementation Strategy recommendation to update the City Center Design Guidelines (which apply to projects in downtown and Old Town)
- 2014 design review Kaizen event, which resulted in substantial changes to the process and a recommendation for continuous evaluation and improvement
- 2016 Comprehensive Plan goal and policy language in the Community Design chapter
- 2018 urban village status report recommendation to consolidate the urban village design review codes

The purpose of the project is to clarify, simplify and standardize urban village design review to encourage predictability and support creativity in the design process.

#### GOALS:

- Meaningful public involvement
- Earlier staff engagement, including Public Works review
- Constructive Design Review Board (DRB) evaluation
- Clear and empowered roles for DRB, HPC and staff
- Easiest process for desired projects
- Clear priorities and hierarchy of guidelines and standards
- Promotion of great design through defined design principles/intents

## 2) Project Approach

The project began in late 2019 with a review of existing documents related to design review, including but not limited to:

- Bellingham Municipal Code (BMC) 20.25 – Design Review Regulations
- City Center Design Guidelines
- Fairhaven Design Guidelines and Standards
- Urban village subarea plans and regulations
- Policy decisions related to urban village design review (including recent design review staff reports, permits and approved plans)
- Comprehensive Plan goals and policies related to urban village design
- Summaries from prior stakeholder input (Kaizen events, urban village status report, focus groups, etc)

Staff created a matrix outlining the similarities and differences in design review between the various urban villages, noting significant overlap and inconsistencies. The goal was to unify as many of the guidelines and standards as possible, while retaining special considerations or conditions within each urban village.

The City contracted with consulting firm Schemata Workshop, who visited Bellingham in December 2019 to tour the city's urban villages and interview key stakeholders and staff about the current urban village design review process and results. This information was used, along with the staff matrix, to form preliminary observations and next steps.

Early in 2020, a Steering Committee was convened to help establish the framework and goals for the new urban village design review program. The following individuals participated in a series of three workshops and ongoing communications and input about the project:

- **Jan Hayes**, DRB/designer
- **Neil McCarthy**, architect
- **JP Slagle**, engineer
- **Molly McGuire**, landscape architect
- **Ali Taysi**, Planning Commissioner/land use consultant
- **John Mullen**, Barkley Company/Loan Review Board
- **Mike Estes**, Planning Commissioner/downtown resident
- **Barry Dikeman**, Downtown Bellingham Partnership /RAM Construction
- **Terry Brown**, architect, LEED-AP
- **Garrett O'Brien**, Planning Commissioner/developer
- **Collin Fuller**, designer
- **Dave Falk** architect, HPC
- **Michael Lilliquist**, City Council/Fairhaven District

Representatives from the Planning and Public Works Departments also participated in the workshop conversations and activities.

The first workshop was held January 2020 and included an overview of issues, opportunities and activities for the Steering Committee to define roles of the public, applicant and staff in design review, identify what makes good design, and describe what is unique about Bellingham. This feedback led to the creation and testing of draft intent statements, which form the basis for the new standardized urban village design review guidelines. These guidelines were tested and

refined by the Steering Committee and staff throughout the remainder of 2020 and will apply to all projects within the seven urban villages.

The resulting urban village design **guideline document** (Attachment A) includes an appendix for each individual urban village, describing the character of the area and any unique guidelines. These guidelines were pulled from existing documents and were not newly created as part of this project. The appendices also include a map of the urban village identifying pedestrian-oriented streets (also existing), key intersections, and connections which inform additional guidelines that may apply. The Design Review Board will review projects against these guidelines and make a recommendation on which intent statements apply and whether the project is consistent with these guidelines. This document also contains an appendix of historic guidelines applicable to historic buildings.

Along with the guidelines document, **standards** (Attachment B) that apply equally within urban villages were aligned and relocated to a single section of the Bellingham Municipal Code. All design standards for a specific urban village have been relocated to their respective development regulations. These were previously located in a variety of documents and code sections, depending on the urban village. Standards must be met for each project unless a departure is granted (based on hardship or other extenuating circumstances). The Design Review Board will review and make recommendations on any departures.

The Steering Committee and staff also evaluated the current urban village design review **process** (Attachment C). Several changes are recommended to create a more meaningful and efficient review:

- Clarifying that a pre-design meeting is required at an early stage of design (similar to some current pre-application meetings).
- Moving the neighborhood meeting prior to the Early Design Guidance meeting to create an opportunity to introduce the project, gather feedback from the community prior to the design of the building, and test the inputs being used to create the design.
- Incorporating review from other departments earlier in the process.

### **3) Meeting Purpose / Discussion Outline**

Staff is requesting review of all packet materials, with emphasis on the following issues:

#### **A. URBAN VILLAGE DESIGN GUIDELINES**

- a. Do these guidelines cover the primary issues intended to be addressed by the urban village design review process?
- b. Is the intended use of the document and applicability of the intent statements and guidelines clear?

#### **B. URBAN VILLAGE REGULATIONS**

- a. Should these regulations be required of all urban village projects, with the opportunity for departure based on the adopted criteria? Should any be converted into recommended guidelines?
- b. Are there any regulations that should be clarified, changed, removed or added?
  - i. Defining decks, balconies and porches. Projections above awnings and general size limitations.

- ii. Discussion of mechanical equipment screening: should these be guidelines, standards or a combination? From which vantage point(s) should screening be required?

**C. URBAN VILLAGE PROCESS**

- a. Consolidation of urban village design review under the design review board (DRB). Currently, design review projects for both historic and new buildings within Fairhaven are reviewed by the HPC. Staff is proposing to integrate historic preservation experts into the DRB so that this perspective and analysis may be provided consistently for all urban village design review projects. All new development, including in Fairhaven, would be reviewed by this newly integrated DRB. The HPC would continue to review historic buildings in urban villages listed on the Local Historic Register under the process established in BMC 17.90 and guide other historic preservation-related activities. Are the respective boards in support of this recommendation?
- b. Are the exemption thresholds appropriate? Administrative v. DRB review
- c. Is the revised process more predictable for the applicant and public? Will it result in more efficient and meaningful review and feedback?
  - i. Optional or required pre-application meeting
  - ii. Move the neighborhood meeting earlier in the process
  - iii. Emphasis on early design guidance v. final review
  - iv. Process for DRB input on final review: notice + optional meeting
- d. Are the roles of the public, staff and DRB clear?
- e. What additional training or resources would be helpful to implement this process?

**4) Next Steps**

AUGUST:	DRB/HPC recommendation Steering Committee update and review
SEPTEMBER:	SEPA notice/public comment period
OCTOBER:	Planning Commission public comment period and hearing Possible work session(s) and recommendation to Council
SEPTEMBER-NOV:	Testing and review of proposed changes
DECEMBER:	City Council public comment period and hearing Possible work session(s) and final decision/adoption
2023:	Staff, board and applicant training Publication of training and updated application materials Switchover to new process

## LIST OF ATTACHMENTS

**ATTACHMENT A: Urban Village Design Guidelines** (subject to interpretation/various applicability based on site conditions)

Urban Village Design Guidelines: Intent statements apply to all urban village projects. The guidelines are a set of recommendations for how to apply design principles to meet these intents.

Urban Village Appendices: apply uniquely to each urban village

Historic Guidelines: Resource document with recommended guidelines applicable to historic buildings (those 50 years or older) in all urban villages. This document was created by consolidating redundancies and highlighting best practices within the Fairhaven Design Standards, City Center Design Standards, and other existing historic guidelines.

**ATTACHMENT B: Urban Village Standards/Development Regulations** (code requirements for all projects or justification for departure required):

Urban Village Design Standards (BMC 20.25.070): All urban village projects

Development Regulations: Development regulations for each individual urban village. Design standards have been relocated/consolidated within these code sections:

Barkley – under development

Downtown - BMC 20.37.520-530

Fairhaven - BMC 20.37.320-330

Fountain - BMC 20.37.230

Old Town - BMC 20.35.070 (*new code section title: BMC 20.37.670*)

Samish Way - BMC 20.370

Waterfront - BMC 20.25.080 (*repealed and relocated to BMC 20.37.430*)

Waterfront - BMC 20.37.430

**ATTACHMENT C: Urban Village Design Review Process Flowchart**

Illustration of the proposed revisions to the urban village design review process. These will include updated application materials and web-based resources.

Design Review Applicability (BMC 20.25.20)

Design Review Board (BMC 2.55)



# City of Bellingham

## Design Guidelines

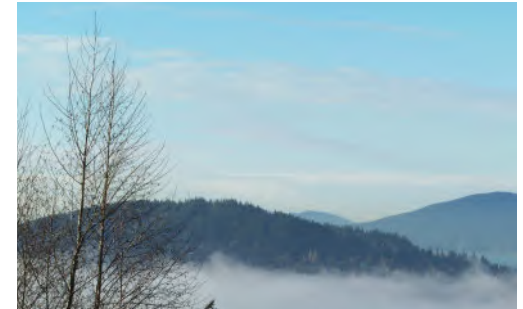
June 2022



# Acknowledgements

*We would like to honor and acknowledge that these are the ancestral, unceded homelands of the Coast Salish Peoples past and present.*

*We express our deepest respect and gratitude to our indigenous neighbors the Lummi Nation and Nooksack Tribe.*



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**Barry Dikeman**, RAM Construction, Downtown Bellingham Partnership board director

**Mike Estes**, Planning Commission, downtown resident

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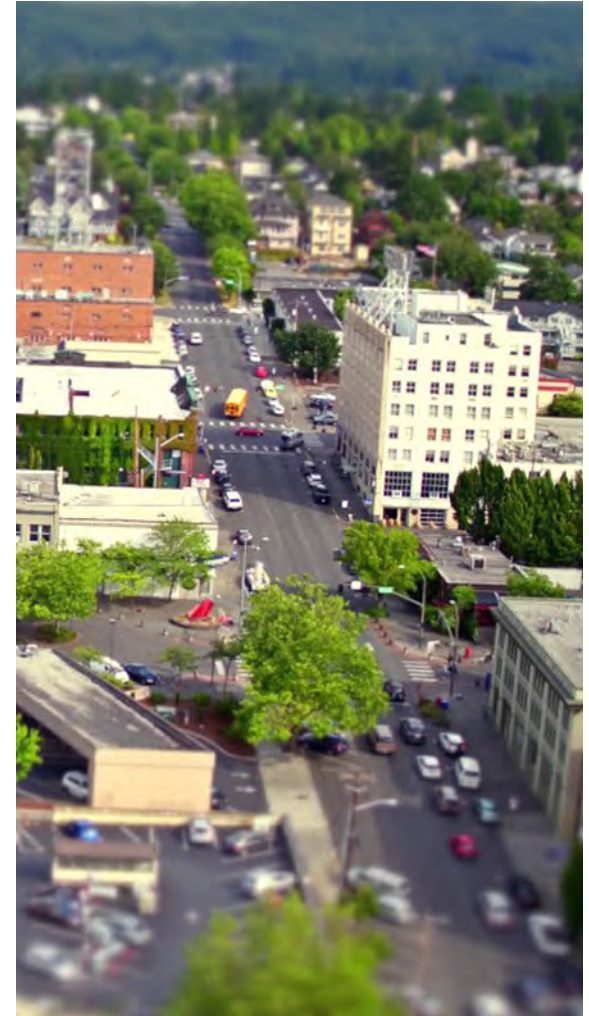
# Introduction

**PURPOSE** | The purpose of the Bellingham Design Review Process is to shape the design of the built environment to enhance Bellingham's sense of place, reflect the community's values, and contribute to the vitality of the City.

The Bellingham Urban Village Design Guidelines establish a set of intents by which projects - including new construction, and additions or alterations to existing and historic buildings - are evaluated during the Design Review process. The Guidelines are a flexible tool for guiding property owners, developers, and design professionals through the design process, from project inception through completion. Historically significant buildings exist in most Bellingham urban villages, and Downtown and Fairhaven have National Register Historic Districts at their core. The Design Guidelines provide a basis for making decisions about the appropriate treatment of existing and historic buildings, the design of compatible new construction and the preservation of Bellingham's broader historic landscape.

The Bellingham Urban Village Design Guidelines form a framework to guide project teams in developing innovative design solutions for context-sensitive urban developments. It is a supplement to the specific land use standards of the Bellingham Municipal Code, Title 20 Land Use Development.

**APPLICABILITY** | The Bellingham Urban Village Design Guidelines apply to projects within the City's Urban Villages as defined in Bellingham Municipal Code 20.25. (see Appendix A for list of current urban villages and locations).






# How to Use This Document

Category Intent

**S2** Contribute to the community identity + architectural character of the surrounding area

**INTRODUCTION** | Proposed development should be contextually responsive and should consider both the social and built environment in design development. Community identity can be reflective of existing conditions (such as those found in a historic district or provided by natural features) and/or aspirational goals (such as those found in adopted Urban Village plans). Architectural character is that which the community wishes to reinforce.



**DESIGN INTENT**

**For new buildings in urban villages with existing character:**

1. Design the site to reinforce or improve existing building and open space patterns.
2. Identify and reinforce scale and massing of existing buildings.
3. Recognize and reinforce existing neighborhood patterns such as ground floor uses, building materials, window proportions, building modulation and entryways.

**For all other buildings:**

4. For properties along zone transitions, consider access to sunlight for adjacent buildings when placing bulk and massing of building.
5. When including open spaces, consider augmenting or expanding on open spaces that already exist.
6. When the site has a unique situation, such as unique street intersection or dramatic topography, this should inform the design.
7. Find a meaningful way to incorporate the unique history of the site and surrounding neighborhood.
8. Per the Secretary of Interiors Standards for Historic Preservation, design new buildings and additions to be compatible with, but differentiated from, landmark buildings.

Guideline



Use site conditions to create shared outdoor spaces accessible to residents and the public.

Direct balconies and overhangs towards existing streets and open areas.

Use changes in materials to emphasize a unique context.

Provide outdoor amenity by using landscaping as screening.

Provide connections between floor levels by creating gathering spaces with shared views.

Integrate private and shared outdoor spaces with walkways.

Images

**Category** | This document is organized into three categories. Site, Public Realm, and Building Design. The Site category addresses the relationship between building massing and location to natural systems and the overall Urban Village. The Public Realm category addresses the relationship between buildings and adjacent sidewalks, streets, open spaces to support the public experience. The Building Design category addresses the overall architectural concept and materiality. Each category is represented by a letter and includes three or four intents.

**Intent** | Intents are desired outcomes for the project and surrounding Urban Village. Project teams are encouraged to work with City of Bellingham Planners to identify intents relevant to their project early in the design process. The statement of intent is located at the top of the page and is supported by an introductory paragraph, which gives the rationale for the intent. Each intent is followed by a series of guidelines.

**Guideline** | Guidelines are suggested approaches for a project to meet the intent. Not all guidelines will be relevant for every project. Projects teams may implement a combination of the guidelines and/or propose alternate approaches unique to the project that together meet the intent. Projects will be evaluated holistically.

**Images** | Images and diagrams provide visual examples of approaches for projects to meet the intent.



# Glossary

**Abut** | When two spaces share a border or are directly adjacent

**Accessible** | Space or feature meets universal design or ADA standards for ease of use; space that is publicly approachable or usable

**Adaptive Plants** | Species of plants originally native to other regions that have become acclimated and established in a new area without being harmful to existing native plants or wildlife, and are able to thrive without human intervention

**Arcade** | Covered passageway (often arched) usually at ground level and lined with retail spaces (on one or both sides)

**Architectural Character** | Defining attributes of a building or neighborhood style

**Architectural Features** | Details, elements, and components of a building's design

**Architectural Design Concept** | A clear idea, notion or intention that serves as the backbone of a design process

**Articulation** | Method of styling the joints of a design to reveal how the parts fit into the whole by emphasizing each part separately

**Awning** | Overhead covering (often fabric covering a metal frame) shielding entries and building openings

**Building Elevation** | The side or façade of a building

**Building Features** | *See architectural features*

**Building Environment** | Man-made structures and elements viewed collectively as an environment

**Canopy** | Overhead building projection at street level to shade or shelter from weather conditions. Often metal structure over which a fabric or metal covering is attached

**Cladding** | Exterior finish material that provides protection to the building envelope

**Community Identity** | The combination of architectural character, building styles, and intangible features of a neighborhood

**CPTED Principles** | Acronym stands for Crime Prevention Through Environmental Design. These are design principles that increase public safety and security

**Cross-Ventilation** | The circulation of fresh air through open windows, doors, or other openings – generally located on opposite sides of the space being ventilated

**Datum Line** | A horizontal line used as a point of reference in design

**Facade** | a building face, or side of building

**Fenestration** | The arrangement of windows and doors on the building



# Glossary

**Gateway Key Intersection** | An intersection that defines the arrival to an Urban Village

**Glazing** | Glass windows

**Historic Building** | A building or structure that is significant in the history, architecture, or culture of the area

**Human Scale** | Proportioning of the environment for the physical and sensory capabilities of people

**Loggia** | A covered exterior gallery or corridor usually on an upper level, but sometimes at ground level. The outer wall is open and usually supported by a series of columns

**Marquee** | Horizontal building projection above street level to shade or shelter pedestrians from weather conditions. Rigid and non-retractable, may hold signage at street face or visible from sidewalk

**Mid-Block Connections** | A pedestrian pathway inside or between buildings connecting two sides of a city block

**Modulation** | Portions of building a facade that step back or project forward

**Natural** | Organically occurring; not human-made

**Natural Features** | Organic preexisting site elements and qualities

**Natural Systems** | Processes, environmental conditions, or organically occurring cycles that impact a potential site

**Pedestrian Key Intersection** | An intersection with high pedestrian activity and that should be designed/improved to be responsive to the needs of pedestrians

**Pedestrian Realm** | Public space designated for pedestrians, often the space between the curb and building frontage

**Permeability** | The ability to physically pass through a building façade, space, or material

**Porosity** | Permeability or the ability to let water pass through

**Public Realm** | Space which is open and accessible to the general public

**Regionally Appropriate** | Elements or materials well suited to the climate or local character of the site

**Scale (Pedestrian/Neighborhood)** | The relative size or extent of something

**Social Environment** | The combination of social and intangible elements viewed collectively as an environment

**Solar Gain** | The increase in temperature of a space that is caused by solar radiation

**Surrounding Area** | Areas that are nearby, around, or directly adjacent to a site, neighborhood

**Terminus** | The end of a street or path

**Transom** | High window located above a door or at top of wall

# Glossary

**View Terminus** | The quality of grabbing a viewer's attention

**Visual Interest** | The end point of a view corridor

**Wayfinding** | Signage or other visual way of guiding people through the physical environment

**Weather Protection** | Overhead canopy, marquee, awning or other building overhang to protect pedestrians from weather

# S1

## Site 1

# Preserve and use natural systems and features

**INTRODUCTION** | Successful site planning is responsive to natural systems and features and uses native materials and landscaping. On urban sites which have seen prior development, many natural systems and features have been previously altered. Care should be taken to both consider the effect of natural systems and incorporate existing natural features where possible and practicable.

### GUIDELINES

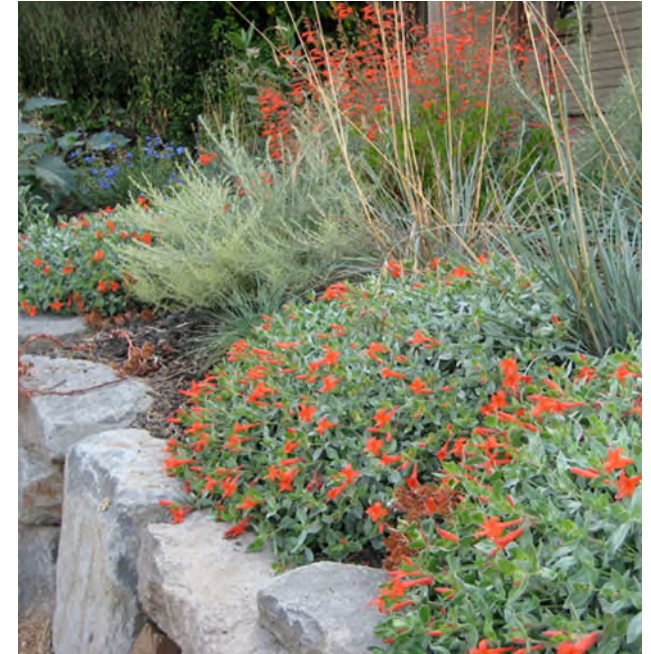
1. Organize the site to frame visual connections to surrounding landscape and natural features.
2. Organize the building and exterior spaces based on solar orientation, wind, and other natural systems.
3. Integrate natural and regionally appropriate materials.
4. Model new landscaping after native/ adaptive habitats from the surrounding region. Plan for low maintenance, durability, and longevity.
5. Plan the site and mass of buildings to reinforce and celebrate existing natural features and systems.
6. Preserve and incorporate regionally appropriate vegetation for wildlife habitats.
7. Incorporate Green Stormwater Infrastructure as outlined in City Center Street Design Standards or other green infrastructure techniques.



Orient exterior walkways and courtyards to the south.



Stagger building heights with slope.



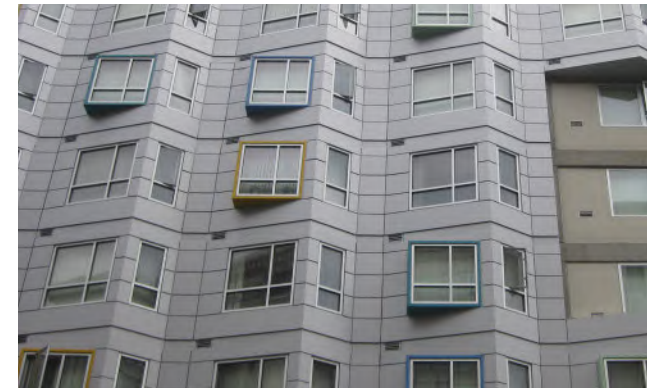
Use local vegetation for climate appropriate landscaping.



Integrate natural systems into landscaping.



Use continuous horizontal bands and varying storefronts to accommodate slope.



Orient windows towards sunlight and views.

# S2

## Site 2

# Contribute to the community identity + architectural character of the surrounding area

**INTRODUCTION** | Proposed design development should be contextually responsive and should consider both the social and built environment. Community identity can be reflective of existing conditions (such as those found in a historic district or provided by natural features) and/or aspirational goals (such as those found in adopted Urban Village plans). Architectural character includes existing built environment features which the community wishes to reinforce.

### GUIDELINES

#### For new buildings in urban villages with existing character (see Appendix A):

1. Design the site to reinforce or improve existing building and open space patterns according to/in alignment with urban village plan goals.
2. Identify and reinforce scale and massing of existing buildings.
3. Recognize and reinforce existing neighborhood patterns such as ground floor uses, building materials, window proportions, building modulation and entryways.

#### For all other buildings:

4. For properties along zone transitions, consider access to sunlight for adjacent buildings when placing bulk and massing of building.
5. When including open spaces, consider augmenting or expanding on open spaces that already exist.
6. When the site has a unique situation, such as an unusual street intersection or dramatic topography, use these to inform the design.
7. Find a meaningful way to incorporate the specific history of the site and surrounding neighborhood and community into the design.
8. Per the Secretary of Interiors Standards for Historic Preservation, design new buildings and additions to be compatible with, but differentiated from, landmark buildings.



Orient courtyards toward existing plazas and open areas.





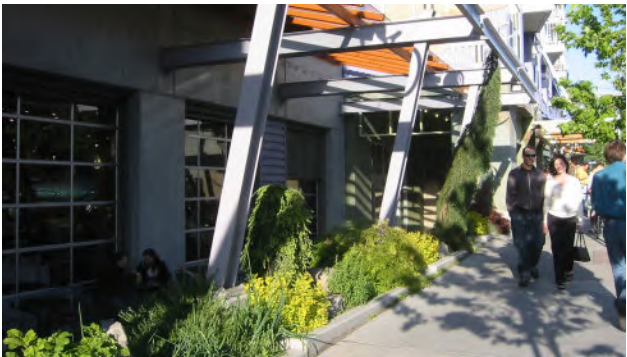
Use site conditions to create shared common spaces accessible to residents and the public.



Orient balconies and courtyards towards existing plazas and open areas.



Use changes in materiality to emphasize a unique moment.



Create layers of privacy by using landscaping as screening.



Promote connections between floor levels by creating gathering spaces with shared views.



Emphasize throughways and mid-block connections with wide walkways.

## S3

## Site 3

## Organize the site to prioritize the public realm

**INTRODUCTION** | Strengthen the most desirable aspects of the surrounding area and design the proposed development in a way that supports the public realm. Building edges and open space should support and enhance the vibrancy of public life.

## GUIDELINES

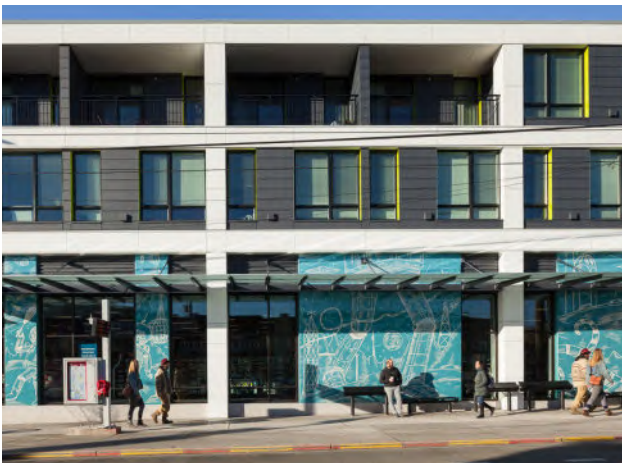
1. Make a strong physical connection with the adjacent street. Consider topography and streetscape form as well as function.
2. To accommodate an inviting and activated pedestrian environment of sidewalk cafes and other outdoor space, incorporate setbacks, loggia, arcades, or insets at ground level.
3. When private interior courtyards abut the street edge, architectural elements can be used to continue the urban street wall and delineate private space.
4. To support a vibrant pedestrian realm, entrances to retail and commercial uses should be prioritized along the main streets, and entrances to private uses such as residential entries should be located along quieter, less public, zones.
5. To provide visual interest for passersby, prioritize, differentiate, and activate ground floor spaces along the public realm.
6. Locate common spaces within the building to overlook the public realm.
7. Locate driveways, garbage collection, and utility spaces out of view from the pedestrian realm.
8. To promote visual connectivity and pedestrian sense of safety, locate features such as entries, windows, decks, and patios on the building elevations fronting the public realm.
9. Coordinate the location of building entries with adjacent circulation paths.



Create mid-block connections to provide more opportunities for public engagement.



Use vegetation to screen private spaces and activate otherwise blank walls.



Provide visual interest through transparent retail storefronts and art. Integrate transit stops into architecture.



Locate gathering spaces and balconies at building entrances and public facing facades.



Use landscaping to indicate private entries.



Use a variety of planter sizes and heights to integrate buildings into their sites.

# P1

## Public Realm 1

# Create an attractive, safe, lively, and inviting community-oriented pedestrian environment

**INTRODUCTION** | The public street should be a significant focus for site and building design as a true community space. When designed with care the public street becomes more than just a throughway – it becomes a destination. A key design consideration should be to create connectivity between ground-floor uses and the streetscape, with particular respect paid to differentiating between public and private spaces. Proposed street-level commercial spaces should invite and encourage the public to stop, browse, engage with the use, and linger.

## GUIDELINES

1. To encourage the development of a successful retail environment, vary the expression of the storefront and provide a change in rhythm to maintain pedestrian visual interest.
2. To create a predictable and comfortable place to walk and window shop, provide continuous weather protection.
3. To bring interior activity into the public realm, incorporate exterior program elements that support interior uses.
4. Use a combination of lighting, glazing and textures to provide visual depth and interest to the storefront.
5. Setback the building at ground level to create a more generous pedestrian zone. Create an inviting environment with seating, landscaping, and interesting textures and materials.
6. Locate building entries adjacent to public open space.
7. Locate signage at a visible height and near retail and commercial entries.
8. Provide opportunities for dynamic and visually appealing displays along retail or commercial windows. Consider low-reflective glazing to increase visibility of activity.
9. Create inviting seating areas near building entrances and open spaces.
10. Incorporate artwork at the pedestrian and neighborhood scale that reflects the history and character of the surrounding area.



Dedicate ground level space to sidewalk activation and public seating.



Use openings to create indoor/outdoor connections.



Include benches and other public programming.



Terrace green space to invite casual public gatherings.



Create safe spaces for pedestrians to engage with commercial and public amenities.



Consider human scale when creating commercial avenues.

# P2

## Public Realm 2

# Provide visual interest to and from buildings

**INTRODUCTION** | Buildings will be enjoyed from a variety of different perspectives and locations. Consider a variety of key vantage points and design visual interest cues appropriately scaled to each view. Small-scale detail creates interest at the pedestrian level, while large-scale detail and massing modulation provides interest at higher points or longer viewing distances.

### GUIDELINES

1. Differentiate the primary entrance with size, materials, insets, and/or lighting.
2. Highlight special architectural features with downlit lighting fixtures that are cohesive with the overall building design.
3. Create visual and tactile interest at the ground level of buildings by incorporating elements such as lighting, pedestrian-scale signs, container plants, or other vegetation.
4. Recognize that the first vertical 30 feet of the building is within the pedestrian field of vision, and carefully consider the materials and fenestration.
5. To frame views of the street and buildings beyond, incorporate arcades or loggia at the base of the building.
6. If large blank walls cannot be avoided, provide visual interest with artwork, landscaping, or architectural detailing.
7. Provide visual interest by incorporating a combination of color, texture, pattern, and transparency.
8. Provide visibility to activities by keeping glazing free of signs, shelving, obscuring film, or shades. If incorporating reflective or patterned glazing in the storefront, limit to areas outside of the pedestrian eye level.



Add articulation or art to largely blank facades.



Set buildings back from the property line to allow for more pedestrian level outdoor space.



Create gathering spaces along circulation routes to invite activation and integrate the building into the site.



Place planters along sidewalks to add color and delineate areas of use.



Place public seating along pedestrian boulevards by dedicating ample sidewalk space to gathering nodes.



Use plantings and other furnishings to add visual interest and privacy screening.

# P3

## Public Realm 3

# Create a network of safe, convenient, and attractive off-street linkages for pedestrians

**INTRODUCTION** | Opportunities to provide pedestrian connections through a project site should be considered. Such linkages may reflect pre-development connections or facilitate neighborhood access to commercial areas or public uses such as schools. These linkages should be designed consistent with CPTED principles.

### GUIDELINES

1. If there are on-site pedestrian walkways, provide a connection to the street.
2. Locate walkways in active areas visible from adjoining spaces.
3. Consider pedestrian access through the site to connect streets, alleys, and existing public spaces.
4. Consider active retail passageways to provide safe mid-block connections.
5. Identify and connect points of interest in the surrounding area. Use design elements such as signage, changes in paving material, and lighting to create a wayfinding system.
6. Provide weather protection for pedestrian comfort.
7. Consider how access, lighting, visual connections, and signage contribute to pedestrian safety.
8. Provide a physical separation between vehicular, bicycle, and pedestrian pathways.
9. Provide visual connections to and through publicly accessible space to encourage use.
10. Consider a variety of scales of public open space.



Design atriums to create transition spaces that bridge indoor and outdoor activity.





Add overhead vegetation for seasonal shading.



Use circulation space as commercial frontage and introduce a range of materials and products to add visual interest.



Make plazas wide and flexible enough to accommodate markets and special events.



Engage a wide array of people by adding features at a range of scales and with a variety of intended uses.

# P4

## Public Realm 4

# Enhance the overall visual cohesiveness of the surrounding area

**INTRODUCTION** | Buildings exist within the context of the neighborhood fabric; they do not exist in isolation. The surrounding buildings are part of the site, and buildings should be site-specific. Buildings should enhance the surrounding area by continuing a commercial or residential street wall, referencing the detail and articulation of the ground floor, and upper story scale and patterning/modulation. Acknowledging that historic construction materials and installation techniques may be impractical for modern construction, new buildings should not aesthetically mimic or replicate historic buildings. Recognizing proposed buildings will become references for future development, care and attention should be paid to unprecedented architectural expressions.

## GUIDELINES

1. Draw inspiration from, but do not replicate, surrounding buildings. Proportion, scale, modulation, repetition, window insets, and building materials are existing patterns to consider.
2. Reference horizontal elements from adjacent buildings and continue the datum lines, especially those visible to pedestrians.
3. Consider historic building patterns of lot width or modulation which might inform design.
4. For full city block development, provide richness and variety at the pedestrian level. Reduce the scale of development by incorporating open space, change of building modularity, materials, storefront expression, and different types of overhead protection.
5. Consider repeating elements, such as balconies, exterior shading, and bay windows, to add variety, depth, and rhythm to the façade.
6. Emphasize a corner site at a key neighborhood intersection with prominent architectural elements. See Appendix B for locations of key intersections.
7. Design a building at the terminus of a street or view corridor to visually highlight its prominent location.
8. If no preexisting buildings are consistent with the vision for the area, as described in the Urban Village Plan, consider how the proposed project will be referenced in future development.



Complement the surrounding buildings and open spaces.



Design facades that relate to and reinforce the proportion and materiality of surrounding buildings.



Highlight public spaces with architectural details.



Use textures, patterns, and elements from local buildings to inform facade design.

# B1

## Building Design 1

### Express a clear architectural design concept appropriate for the proposed structures and contextually compatible with the surrounding area

**INTRODUCTION** | A well-designed building positively contributes to its streetscape, supporting commercial and pedestrian activity at ground level and offering visual interest at upper levels. The composition and architectural detailing of building elevations has a major impact on the perceived scale of buildings and their interaction with the public realm. Building elevations should be well-resolved, with a size and proportion appropriate to the streetscape and an emphasis on human scale.

#### GUIDELINES

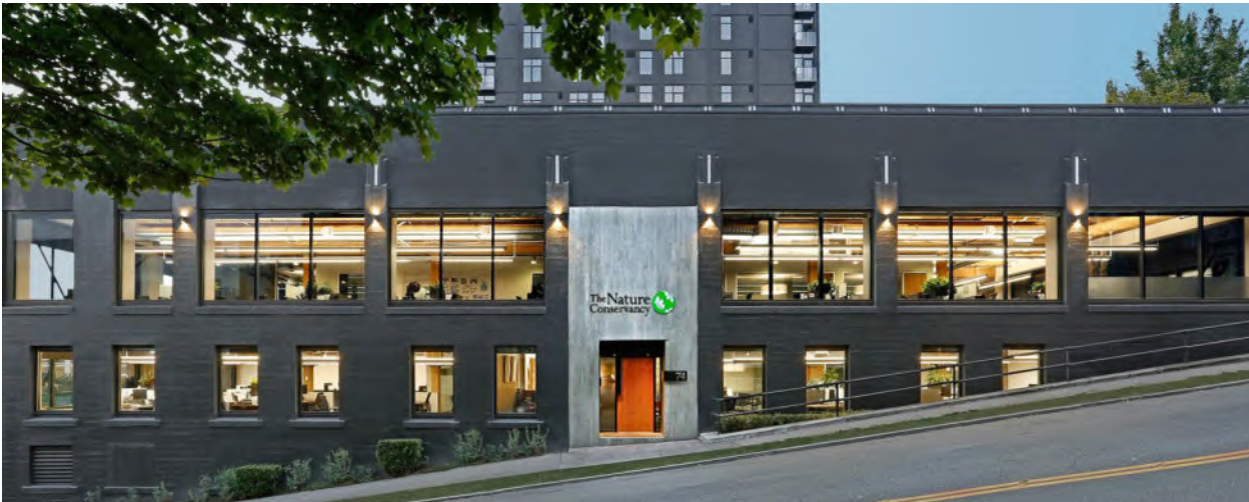
- Using diagrams and visuals, create a clear concept for the building, supported by design choices.
- Design architectural features that are an integral part of the building.
- Develop the massing of the building to respect any retained historic elements.
- Consider the proportion, rhythm, scale, and composition of all building facades.
- Design fencing to be an integral part of the architectural concept, with consistent use of detailing, material, or color.
- Incorporate features that create a visually distinct roof form.
- Incorporate human-scaled details at ground level that emphasize the building base and pedestrian realm.
- Match adjacent building ground floor to ceiling heights in historic districts.
- Provide transom windows over marquees and canopies to maximize daylight into storefronts, where appropriate.
- When working within a neighborhood with existing architectural character, continue fenestration rhythms and patterning from adjacent buildings.
- Design storefronts for a variety of uses at the outset and anticipate adaptation over time.



Use a different materiality at the ground level to indicate a difference in privacy and programming.



Differentiate the roof plane and other parts of the building.



Respect existing historic building features, as well as the surrounding context.



Design storefronts to adapt to future changes.

# B2

## Building Design 2

# Create high quality, durable, and interesting buildings that have texture and depth

**INTRODUCTION** | High quality buildings should provide a balanced composition of architectural elements, textures, materials, and color selections that respond to the character of the local area. Use varied materials, details, and contrasting colors to highlight feature elements, delineate breaks or reduce the impact of other building elements.

### GUIDELINES

1. Create depth and shadow lines within the building façade.
2. Create porosity and permeability by incorporating operable storefronts.
3. Select high quality materials, particularly at street level, such as stone, brick, tile, concrete, metal, or transparent glass.
4. Use materials appropriate to the scale and use of building.
5. Reinforce the pedestrian scale with repeating vertical elements.
6. Thoughtfully detail joints, attachments, and patterns of exterior cladding materials to create human-scaled depth and texture.
7. Incorporate a varied and durable palette of landscape materials to provide year round interest.
8. Employ a variety of types of weather protection appropriate to the scale of the building.
9. If no preexisting buildings are consistent with the vision for the area, as described in the Urban Village Plan, consider how the proposed building will be referenced in future development.



Engage the pedestrian realm with choice of materiality.



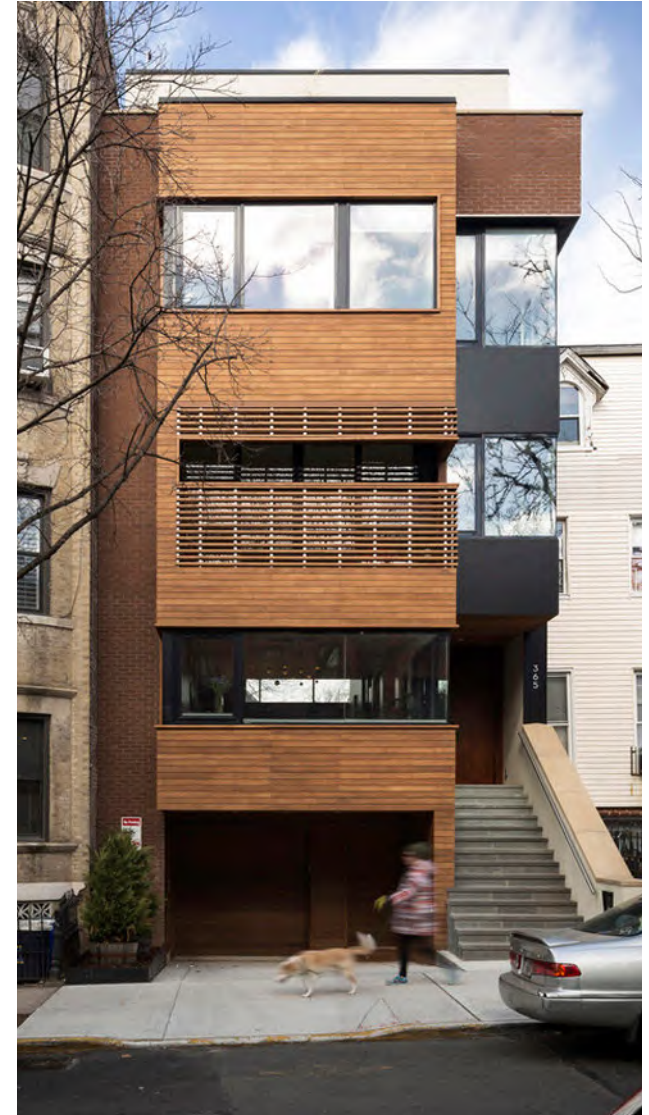
Use high quality materials on weather protection.



Use materials that create surface porosity on the facade.



Create opportunities for engagement with permeable, tactile pedestrian frontages.



Vary materiality according to building use and scale.

# B3

## Building Design 3

# Reduce the overall impact on the environment and human health during and after construction

**INTRODUCTION** | The growth and development of our community has a large impact on the natural environment. The design, construction, and operations of the buildings in which we live and work are responsible for the consumption and depletion of many natural resources. Design choices such as materials and building systems impact the health and wellness of the people who use the spaces. Building design also influences transportation habits and other choices that impact human behavior.

### GUIDELINES

1. Reuse existing structures or salvage materials from existing structures on site.
2. Locate windows and shading to benefit from passive design strategies such as promoting solar gain during cool months and cross ventilation during warm months.
3. Create community oriented spaces to increase resident support and interaction.
4. Use materials and systems that are locally-sourced and appropriate for the climate of the Pacific Northwest.
5. Use long-lasting durable materials.
6. When possible, manage site stormwater by directing it into landscaping and other non-potable applications.
7. Take advantage of the natural topography to minimize impacts of grading activities on the environment and water quality.
8. Coordinate the location of entrances and walkways with bus stops and other transportation facilities as appropriate to encourage bus travel. Where appropriate, provide convenient and attractive amenities in the immediate vicinity of bus stops.



Create gathering nodes and community spaces with engaging, multi-dimensional facades.





Use existing salvaged materials from the site in new ways.



Make space for community gathering.



Include deep recessed balconies on west face to provide solar shading.









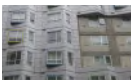


Encourage biking with related amenities and storage.












Find ways to incorporate hydrology into landscaping, using runnels and site water features.












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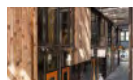
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# Appendix A | Urban Villages: Specific Design Character, Guidelines, and Maps

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# A1

## Barkley Urban Village

**INTRODUCTION** | Barkley Urban Village is a roughly 255- acre area surrounding Barkley Boulevard, bounded to the south along E. Illinois St. west of Woburn Street and the Railroad Trail east of Woburn Street, to the north along E. Sunset Drive / Vining Street, to the west behind the Regal Imax Cinemas, and to the east by Sussex Drive. The boundaries are in large part determined by natural edges – greenbelt edges to the south against the Railroad trail and forested areas to the east against existing residential development. Preserved and enhanced wetlands will sit toward the south and east, against the Barkley Blvd. edge.

**DESIGN CHARACTER SUMMARY** | A largely greenfield site, the Barkley Urban Village is characterized by its significant open space, access to trails and greenbelts, and forested wetlands offering habitat for wildlife and recreational opportunities for residents, users and visitors. Barkley today is interspersed with vacant land and uncompleted streets, a large light industrial building, newer shopping, entertainment, dining and office venues, a growing residential population, and parcels of open space to be preserved for public benefit. Like the others, Barkley Village is envisioned as a community in which people can live, work, and play. It is designed to maintain important characteristics such as view corridors and vistas, natural features and small businesses while continuing to provide a diverse mix of quality housing and commercial opportunities.



The newest residential project, the Weatherby, integrates diverse architecture, sustainability through the largest solar array in the county, and a unique (woonerf) pedestrian friendly street.



# A1 Barkley Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

### Public Realm 1: Create an attractive, safe, lively, and inviting community-oriented pedestrian environment

1. Develop abundant natural open space, parks and public art.

### Public Realm 3: Create a network of safe, convenient, and attractive off-street linkages for pedestrians.

1. Increase walkability with enhanced pedestrian corridors and trails.

### Building Design 3: Reduce the overall impact on the environment and human health during and after construction.

1. Adopt environmentally responsible practices, incorporating innovation and sustainability in building design, construction and operations.
2. Integrate thoughtful quality architecture, landscape design, food cultivation and opportunities to connect with nature.



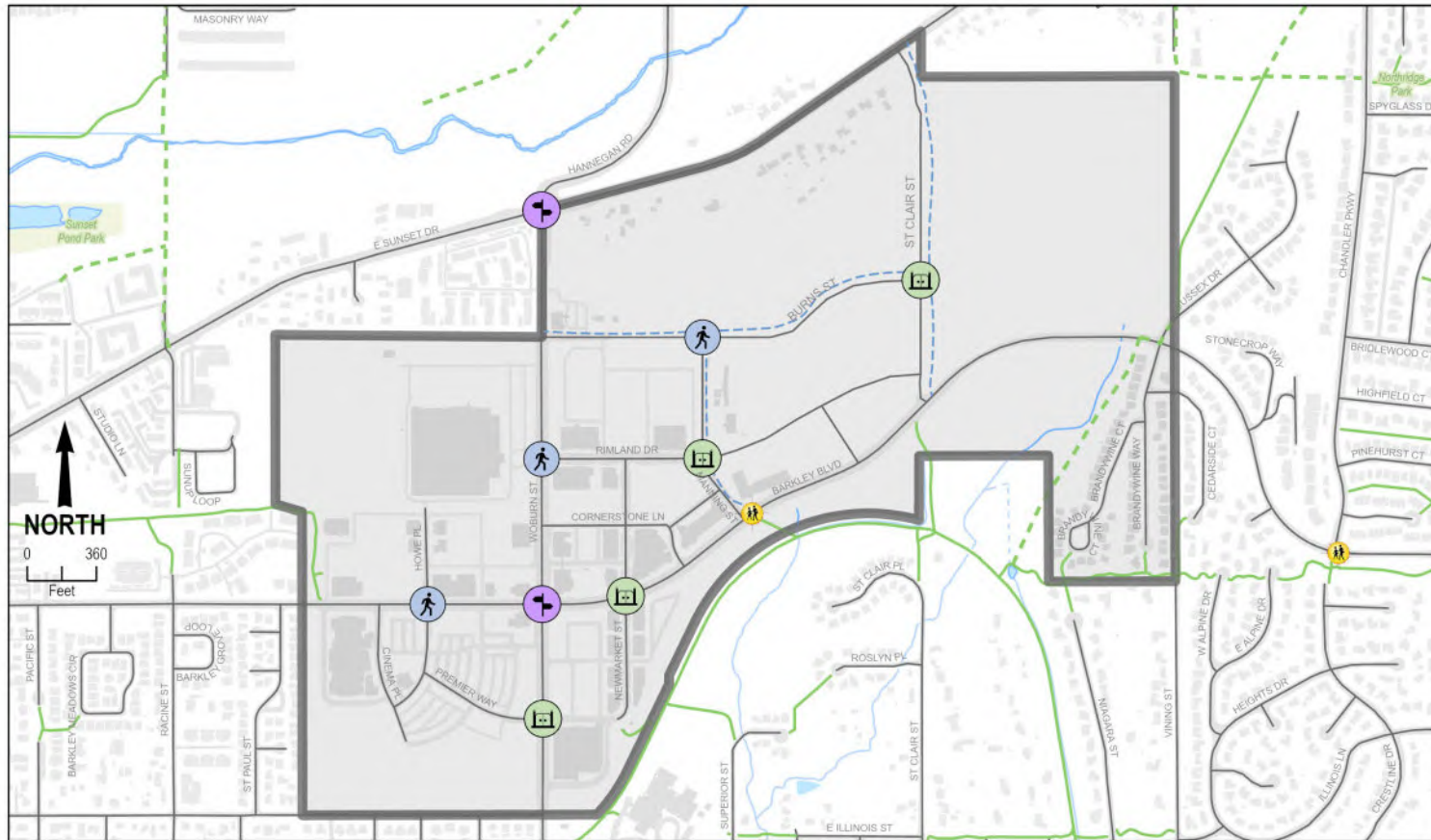
A new connector trail from Barkley Blvd to the Railroad Trail





**Key Intersections:  
Barkley Urban Village**

**INTERSECTION TYPES**





# A2 Downtown District Urban Village

**INTRODUCTION** | Spanning 249 acres, Downtown Bellingham is the commercial, employment, civic and entertainment center for Whatcom County. Downtown has experienced building booms, retail exodus, and the evolution from a “strictly business” district into a multi-use neighborhood. The Downtown area now provides jobs, housing, entertainment and services for a diverse and growing population.

**DESIGN CHARACTER SUMMARY** | Historic buildings make up a key part of Downtown's character and represent tangible links to the past. Downtown's sense of place relies, to a large extent, on its historic buildings and landscapes. The Downtown land use areas are further defined as Commercial Core, Commercial Transition, Industrial Transition, and Residential Transition-1 and Residential Transition-2. Further descriptions of these areas can be found in the Downtown Plan.

## URBAN VILLAGE SPECIFIC GUIDELINES

### Site 1: Preserve and use natural systems and features.

1. Orient buildings adjacent to Whatcom Creek to promote activity and interaction along the creek. Provide visual interest to building elevations along the creek.



View from W Holly Street looking northeast of the Flatiron Building (1313 Bay St) to the left and the Holly-Bay-Prospect Building (1302 Bay St) on nearest right. Bay



Corner of W Holly Street and Commercial Street looking northeast. Red Front Building in foreground (200-02 W Holly St).



## Key Intersections: Downtown District Urban Village

### INTERSECTION TYPES









Gateway/District  
Entrance

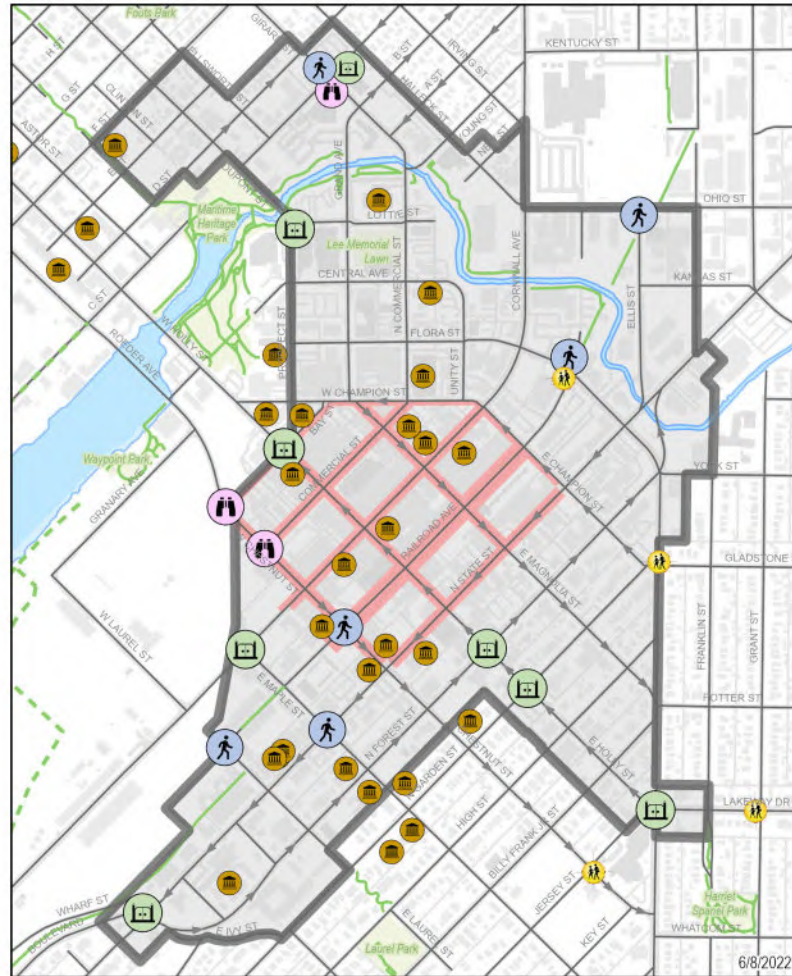


Terminal View



Pedestrian  
Connection

-  Urban Village Boundary
-  Historic Register Sites
-  Flashing Crosswalk
-  Existing Trails
-  Proposed Trails - 2020 PRO Plan
-  Pedestrian-Oriented Commercial Streets (Ground Floor Commercial Use Required)



6/8/2022



# A3 Fairhaven Urban Village

**INTRODUCTION** | Generally located in the southside of Bellingham on the southwest base of the South Hill neighborhood, west of the Happy Valley neighborhood, north of the Edgemoor neighborhood and borders Bellingham Bay to the west. Fairhaven contains some of Bellingham’s most historic structures and represents early commercial development with a high degree of maritime influence. The Fairhaven Urban Village includes the Fairhaven Historic District, a town site first platted in 1883 which encompasses an area of three and a quarter blocks and contains the village’s best preserved buildings. The Fairhaven Design Review District is divided into four individual Design Review Areas (DRAs), Historic District DRA, Historic Influence DRA, Industrial Influence DRA, Maritime Influence DRA.

Fairhaven National Historic District (FNHD, 1977)– The historically significant buildings in this area were built between 1888 and 1929, and since that time have provided a mix of retail and other commercial services to the surrounding residential areas. Collectively, buildings in the Fairhaven National Historic District are valued by the community for their architectural character, the history they convey, and as catalysts of economic development activity.

The Historic District’s period of significance spans Fairhaven’s early building booms and includes 15 buildings dating from 1888 to the First World War. Two additional buildings were constructed after the primary historic period.



“Mackenzie Alley” located on 11th Street between the historic Nelson Block to the left and contemporary H. Dale Young Building to the right. (Alley programmed for pedestrian access to internal shops and restaurants)

# A3 Fairhaven Urban Village

**DESIGN CHARACTER SUMMARY** | Historic District DRA - The buildings in the Historic District share a common architectural language. Most are built of brick and other masonry materials. Built in a variety of styles, an overall compatibility is expressed through common features typical to traditional storefronts such as cornices, recessed window and door openings, and vertically proportioned windows. Primary facades were generally designed in a vertical orientation, with an articulated base and a parapet cap, all of which are proportional to the design of the building.

Historic Influence DRA – Area surrounding the FNHD. This area is characterized by buildings constructed between the 1950's to the 1980's.

Industrial Influence DRA – East of the railroad. In the early 20th century, commercial and industrial buildings lined both sides of Harris and McKenzie Avenues. Most of these buildings have been demolished. Emphasize pedestrian-friendly design along Harris Avenue.



Village Books Building (1200 11th Street) located on the corner of 11th Street and Mill Ave, looking south on 11th Street.



# A3 Fairhaven Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

**Site 2: Contribute to the community identity and architectural character of the surrounding area.**

1. Use parapets, cornices, transoms, and/or awnings to relate to the historic commercial building features of the neighborhood and create a human sense of scale.
2. Maintain the traditional storefront proportions as experienced at street level by designing the commercial ground floor to appear taller than upper floors. A historic storefront of 14' to 16' high is typical in Fairhaven.

**Public Realm 3: Create a network of safe, convenient, and attractive off-street linkages for pedestrians**

1. Provide pedestrian connections from the street to the ferry, boat launch, and other public areas along the waterfront.
2. Parking lot lights should generally be no more than 18' in height, and lower for pedestrian walkways.



Fairhaven Village Green public space, located on the corner of 10th Street and Mill Ave.



Fairhaven Gardens Building (1134 Finnegan Way), located on the corner of 11th Street and Mill Ave (first floor commercial, second floor residential), view looking northeast.

# A3 Fairhaven Urban Village

## Building 1: Express a clear architectural design concept appropriate for the proposed structures and contextually compatible with the surrounding area.

1. On a commercial building, set the primary entry door back an adequate amount from the front facade to establish a distinct threshold for pedestrians. Four feet is a typical recess.
2. New construction outside of the HD DRA may draw from a broader range of architectural styles. References to a more residential or contemporary style may be appropriate.
3. New interpretations of traditional building styles that express contemporary architectural trends are encouraged.
4. To maintain the distinction between new and old buildings, new construction that imitates or mimics historic features is discouraged.

5. Decorative elements and projecting or setback "articulations" should appear subordinate to the facade.
6. In the II and MI DRAs, draw upon traditional industrial forms and incorporate sloped roofs, canopies and loading docks. A mix of roof forms is appropriate, including sloped roofs.

## Building 2: Create high quality, durable, and interesting buildings that have texture and depth.

1. Contribute to the visual continuity of the area by using building materials traditionally used in Fairhaven, primarily brick, wood, and stone, or alternative materials with similar scale, proportion, texture and finish.
2. More diversity is allowed in the II and MI DRAs, where industrial-type materials are appropriate. Wood and metal were traditionally used for window, door and storefront surrounds and are encouraged in new construction.



Fairhaven Towers Building (1215 12th St, newly completed first floor commercial, second floor residential), located on the prominent corner of 12th Street and Harris Street. View looking northeast.

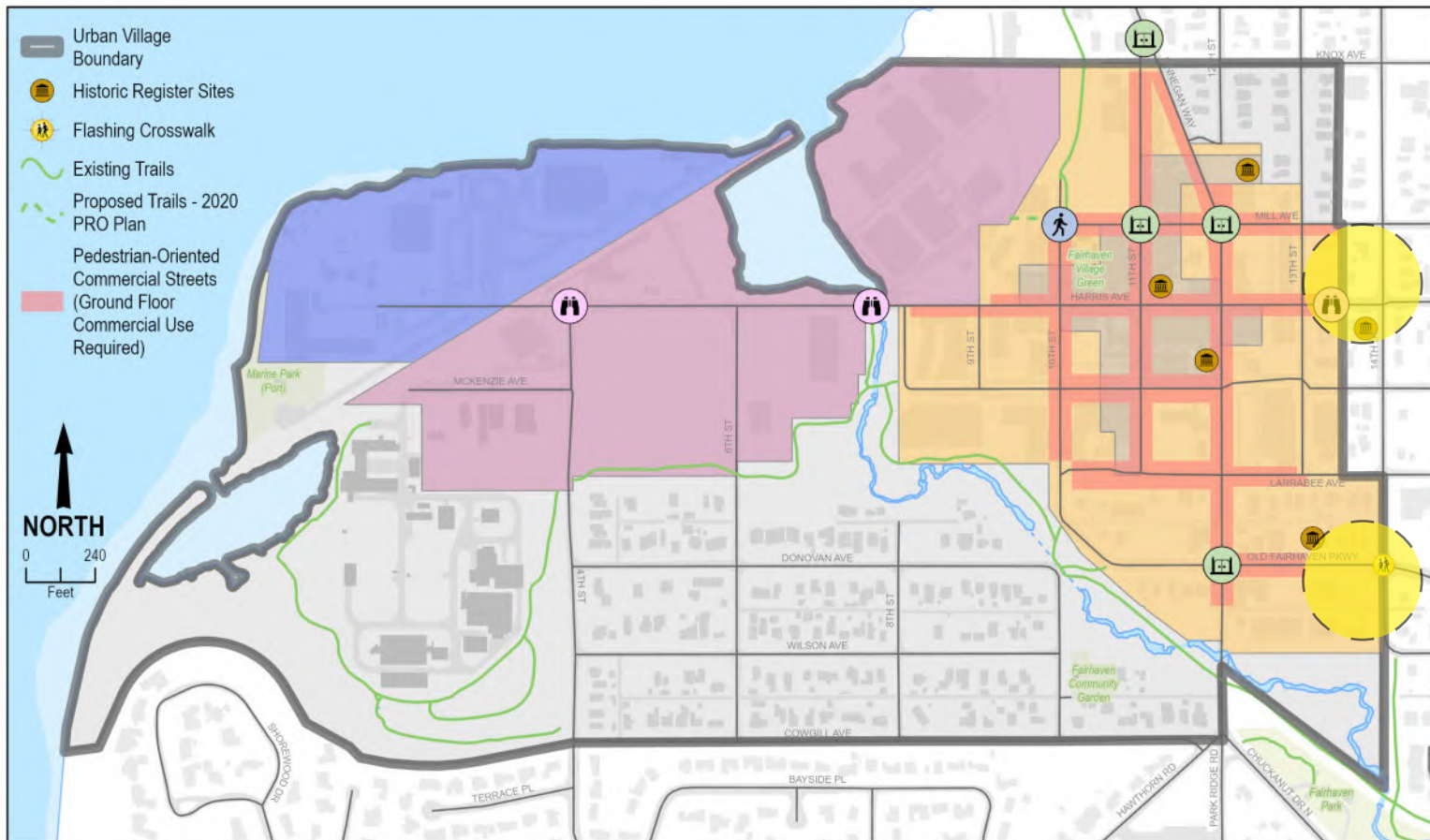
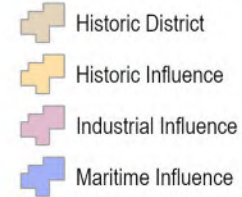


## Key Intersections: Fairhaven Urban Village

### INTERSECTION TYPES



### Fairhaven Design Review Districts







# A4 Fountain District Urban Village

**INTRODUCTION** | The Fountain District is a 90-acre area centered around the commercial core of Meridian Street and includes portions of the Columbia, Cornwall Park and Lettered Streets neighborhoods. The Fountain District evolved at the junction of the City’s most historically gracious boulevard, Broadway Avenue, and its most travelled route north, the “Guide Meridian.” A freshwater fountain under a shady tree at the base of Meridian and Broadway was deeded to the City in perpetuity to provide water for animals and livestock coming and going from Bellingham out into the county and on to Canada. This “watering hole” remains today as a designed fountain and has become a landmark of the district.

**DESIGN CHARACTER SUMMARY** | Meridian Street contains an eclectic mix of local businesses, many housed in one- and two-story buildings. Architectural styles range from traditional historic commercial buildings, single family houses adaptively reused for businesses and shops, and more contemporary construction from the early- to mid-20th century up to the present day. As a major arterial, Meridian has historically served auto-oriented uses resulting in sidewalk-facing parking lots, gas stations, supermarket and drive-through banking and food services. Since implementation of the Urban Village plan, larger multi-use development has caused the removal of single-family houses adapted for commercial uses.

Toward the east, the Elm Street corridor presents a more residential atmosphere and is lined with well-kept historic homes, some of which contribute to the Eldridge National Historic District and have been adapted for use as professional offices and businesses. Quiet residential areas lie immediately to the east and west, consisting of mostly single-family houses.

Underlying development character policies strive to preserve neighborhood character through adaptive use of existing and historic buildings; guide development to create a more comfortable and appropriately-scaled pedestrian environment; uphold quality design and materials standards for new development; and to improve the interface between commercial and residential areas.

# A4 Fountain District Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

### Site 1: Organize the site to prioritize the public realm

1. On Meridian Street, new buildings are strongly encouraged to set back a minimum of two feet from the front property line to allow for a wider sidewalk and the planting of street trees.

### Site 3: Organize the site to prioritize the public realm

1. Curb cuts on streets should be consolidated whenever possible.

### Building 1: Express a clear architectural design concept appropriate for the proposed structures and contextually compatible with the surrounding area.

1. Whenever possible, retain the character of the district by adapting and sensitively adding on to existing historic buildings.

### Building 1: Express a clear architectural design concept appropriate for the proposed structures and contextually compatible with the surrounding area.

The following are guidelines for additions and modifications to existing structures originally built for single-family residential use.

1. On Meridian Street, additions designed for the front of existing buildings are encouraged to set back a minimum of two feet from the front property line to allow for a wider sidewalk and the planting of street trees.
2. For commercial uses, landscaping should be integral with the site design and provide privacy for neighbors.
3. Fencing, especially when seen from the street, should be designed to integrate with the architecture of the building and add visual interest in its detail, materials or color.



“Fountain Plaza” public space, located at the intersection of Meridian, Broadway and Monroe which acts as the southern entrance to the district.



## Key Intersections: Fountain District Urban Village

### INTERSECTION TYPES



Gateway/District  
Entrance

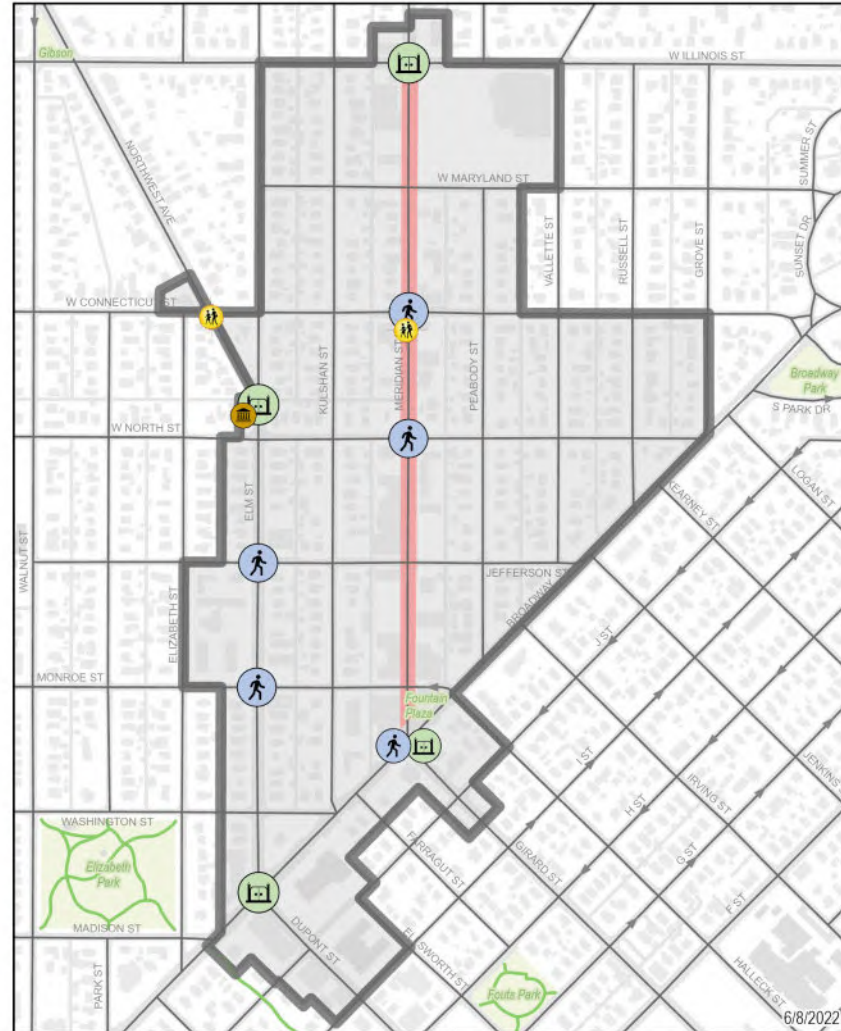


Terminal View



Pedestrian  
Connection

-  Urban Village Boundary
-  Historic Register Sites
-  Flashing Crosswalk
-  Existing Trails
-  Pedestrian-Oriented Commercial  
Streets (Ground Floor Commercial  
Use Required)





# A5 Old Town Urban Village

**INTRODUCTION** | Old Town is bordered by Bellingham's downtown to the south, the Lettered Streets and Columbia neighborhoods to the east and north, and the waterfront and Bellingham Bay to the west. The boundaries are for the most part determined by natural edges - edges between land and water and between uplands and lowlands. The district largely fits within a half bowl landform that rises from the course of Whatcom Creek on all but the west side, where it is open to Bellingham Bay. Whatcom Creek has for centuries been the most attractive area for human presence on Bellingham Bay. Consequently, Old Town has a rich archaeological history in the city.

**DESIGN CHARACTER SUMMARY** | Today, the topographical contrast continues to create important views and visual perspectives, particularly in regard to the landmark Old City Hall building. Old Town today is interspersed with vacant land, large footprint industrial structures, parcels of public open space and a relatively low residential population. Little in the way of new uses, quality new construction or targeted adaptive reuse and preservation has occurred in Old Town compared to other areas in Bellingham. The Old Town area is envisioned as a community in which people can live, work, and play. It is designed to maintain important characteristics such as view corridors and vistas, natural features, historic resources, small businesses and yet provide for additional housing and business opportunities.



View of Whatcom Creek which borders Maritime Heritage Park, looking northeast. Just southwest of here Whatcom Creek meets Bellingham Bay.

# A5 Old Town Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

**Site 2: Contribute to the community identity and architectural character of the surrounding area.**

1. Incorporate pedestrian-friendly interfaces within redevelopment properties along the Old Village Trail with features such as an entries and windows.

**Building 2: Create high quality, durable, and interesting buildings that have texture and depth.**

1. Merge modern materials of the present with traditional building forms from the past to reference the historic Old Town.

**Site 3: Organize the site to prioritize the public realm.**

1. Create an active edge along Old Village Trail, Maritime Heritage Park and public plazas by incorporating access, activity areas and interesting design features into new and redeveloped buildings.
2. Along Holly Street, consider building setbacks to accommodate outdoor spaces, street trees, and wider sidewalks.



Looking west on corner of W Holly Street and W Champion Street with Oakland Block (401 W Champion St) to the right.



## Key Intersections: Old Town Urban Village

### INTERSECTION TYPES



Gateway/District  
Entrance




Terminal View



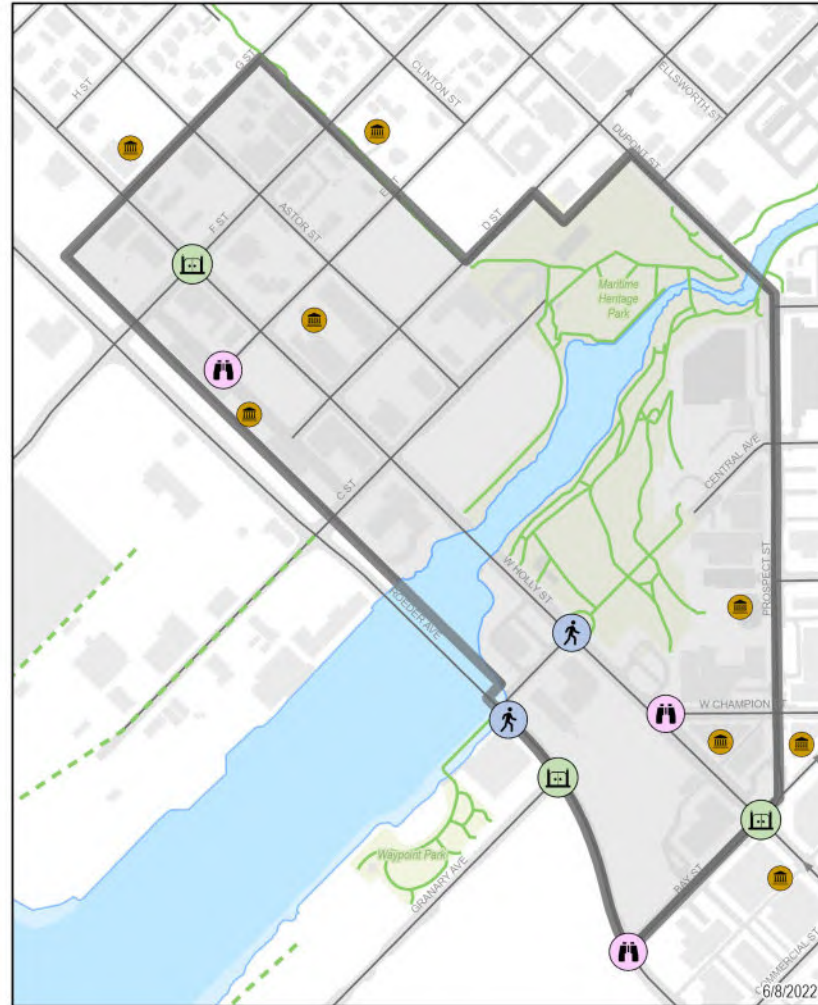
Pedestrian  
Connection

 Urban Village Boundary

 Historic Register Sites

 Existing Trails

 Proposed Trails - 2020 PRO Plan





# A6 Samish Way Urban Village

**INTRODUCTION** | Samish Way Urban Village lies between the wooded backdrop of Sehome Hill Arboretum and the busy I-5 corridor and is a major connector to Western Washington University and Downtown Bellingham. Samish Way was originally part of Highway 99, which ran along the West Coast from Mexico to Canada, and has grown into a busy 4-lane arterial and forms the main commercial corridor of the Village. During the 1950s, motels, gas stations and other auto-oriented businesses developed along the corridor, augmented by the historic and quiet residential neighborhoods of Sehome and

**DESIGN CHARACTER SUMMARY** | A major goal for the village is to foster a core retail area along Samish Way between Abbott and Otis Streets. Tall buildings at the heart of the Village are envisioned (6-7 stories), stepping down to commercial and residential transition areas. Incorporation of augmented landscaping, pedestrian amenities and bicycle and transit infrastructure are also a goal for all projects, with the objective of creating a more compact street grid. Increased access management along Samish Way is also a major goal.



Intersection of N Samish Way and Otis Street, looking southwest on the Samish Commons (1000 Otis St, newly completed affordable housing complex)



# A6 Samish Way Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

### Site 1: Preserve and use natural systems and features.

1. Encourage incorporation of smaller evergreens and other native vegetation found in the Sehome Hill Arboretum to strengthen the connection and help integrate this open space amenity with the urban village.

### Public Realm 1: Create an attractive, safe, lively, and inviting community-oriented pedestrian environment.

1. Curb cuts on streets should be consolidated whenever possible.
2. Provide covered bus shelters and other amenities at bus stops and orient development towards transit stops to create a comfortable and interesting environment for pedestrians and transit riders and promote transit use.
3. Design ground floor residential uses along Samish Way to allow for future retrofit to commercial use.

### Building 3: Reduce the overall impact on the environment and human health during and after construction.

1. Implement Washington State Department of Transportation (WSDOT) noise mitigating measures in buildings adjacent to I-5 to buffer traffic noise.





## Key Intersections: Samish Way Urban Village

### INTERSECTION TYPES



Gateway/District  
Entrance





Terminal View




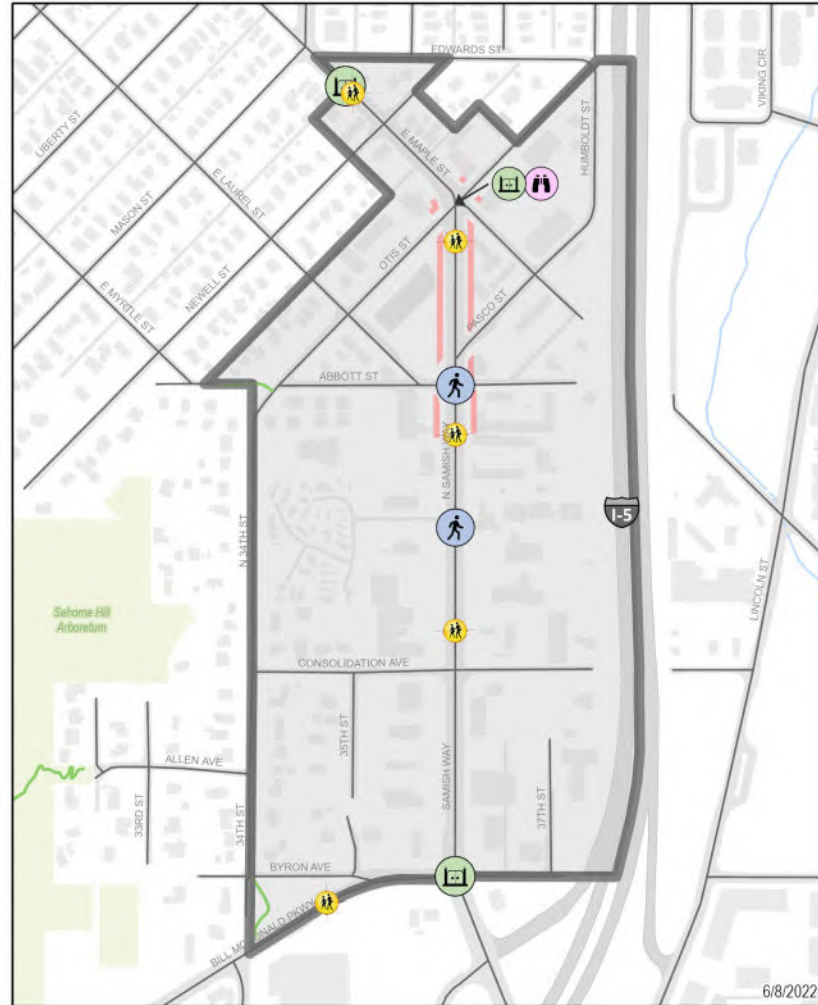
Pedestrian  
Connection

 Urban Village Boundary

 Flashing Crosswalk

 Existing Trails

 Pedestrian-Oriented Commercial  
Streets (Ground Floor Commercial  
Use Required)





# A7 Waterfront District Urban Village

**INTRODUCTION** | The Waterfront District is defined within the boundaries of the Whatcom Waterway, Roeder Avenue / Chestnut Street, and Cornwall Avenue. Whatcom Waterway and Bellingham Bay creates the southwestern boundary of the district.

The Waterfront District is intended to implement the community vision for the Central Waterfront by converting a large, under-utilized brownfield industrial site into a vibrant mixed-use neighborhood that improves waterfront access and promotes a healthy and dynamic waterfront economy. By emphasizing outdoor recreation, cultural heritage, and environmental restoration, the Waterfront District is an urban village where people will ultimately live, work, shop, study and spend their leisure time, without relying solely on vehicular transportation.

**DESIGN CHARACTER SUMMARY** | The Waterfront District is divided into five separate planning areas. The vision for the waterfront includes a unique “sense of place” at different waterfront locations, and implementation of sustainable practices in all development reinforces the environmental remediation and connection to the water. Active interface with the abutting shoreline as well as public spaces are emphasized. Development standards relating to building height, setbacks, and design are proposed to preserve key view corridors to and from adjacent neighborhoods, limit building mass adjacent to parks and rights-of-way and encourage sustainable design features and amenities to support pedestrian-oriented commercial activity and public gathering space at ground level.



Granary Ave entrance to Waypoint Park with the Granary Building (1211 Granary Ave) to the right.

# A7 Waterfront Distric Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

### Site 1: Preserve and use natural systems and features.

1. Preserve and integrate views along the connection from downtown to the interior of the site, tile tanks, digester, islands, and Olympic Mountains.

### Site 3: Organize the site to prioritize the public realm.

1. Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate to each other, and their functions are mutually supportive.
    - Ensure that buildings which directly front on parks and trails interact with facility users.
    - Activate parks and trails with a variety of uses that provide a continuity of experience with focused notes of activity and destinations that are linked together.
    - Provide interpretive opportunities that incorporate the cultural, historical, economic and environmental history of the site and community into the design of the park.
  2. Site and design open spaces to connect with, or enhance, the uses and activities of other nearby public open space where appropriate.
  3. Support uses and activities on adjacent properties and/or the sidewalk
- Minimize conflicts with vehicular traffic.
  - Consider the localized effect of sun angles, shading and wind on proposed park facilities and spaces.



View of Sehome Hill in background and industrial relics of the former Georgia Pacific mill site

# A7 Waterfront Distric Urban Village

## URBAN VILLAGE SPECIFIC GUIDELINES

### **Public Realm 1: Create an attractive, safe, lively, and inviting community-oriented pedestrian environment**

1. Within mixed-use commercial and residential areas, define pedestrian-scale blocks and building pads by developing a network of bicycle routes, pedestrian connections, and interior roads with a block size similar to or smaller than the existing blocks in Downtown and Fairhaven.

### **Public Realm 2: Provide visual interest to and from buildings.**

1. Provide visually evident variety when a development includes three or more buildings.
2. Design building roof tops and mechanical equipment with consideration for appearance from the adjacent bluff. Control glare with screening, vegetation, and use of materials.

### **Public Realm 3: Organize the site to prioritize the public realm**

1. In areas where development site abut the bluff, locate any parking below street grade, with building entrances at street level.

### **Public Realm 4: Enhance the overall visual cohesiveness of the surrounding area**

1. Preserve water views from public streets and designated view points within adjacent neighborhoods and establish visual connection with downtown.

### **Building 2: Create high quality, durable, and interesting buildings that have texture and depth**

1. When a development includes multiple buildings, use a range of forms, building footprints, or elevations to create visually evident variety.

### **Building 3: Reduce the overall impact on the environment and human health during and after construction.**

1. Site residential units closer to quieter and less traveled roadways, planned parks, and green spaces.
2. Implement acoustic strategies to reduce outdoor noise transmission and improve the acoustic quality of interior spaces. See Waterfront Subarea Plan for additional information.
3. Use landscaping, park design, and stormwater biotreatment facilities, such as bioswales, and use of native and/or drought tolerant plants which will not require permanent irrigation systems and will support clean stormwater goals.
4. Include space for community gardens to allow residents to grow produce and flowers.



## Key Intersections: Waterfront District Urban Village

### INTERSECTION TYPES







Gateway/District  
Entrance



Terminal View



Pedestrian  
Connection

-  Urban Village Boundary
-  Existing Trails
-  Proposed Trails - 2020 PRO Plan
-  Pedestrian-Oriented Commercial Streets (Ground Floor Commercial Use Required)





# Appendix B | Historic Guidelines

## HISTORIC GUIDELINES INTRODUCTION

## HISTORIC GUIDELINES GLOSSARY

H1   Historic Building Design Guidelines .....	xxxviii
H2   Historic Commercial Buildings .....	xxxix
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# Historic Guidelines Introduction

## INTRODUCTION: WHY PRESERVE HISTORIC BUILDINGS?

Most of Bellingham's urban villages contain historic buildings and districts that express diverse architectural styles, episodes in history and provide a tangible link to the past. The City of Bellingham encourages property owners to take steps to preserve and rehabilitate their buildings and has created these Historic Design Guidelines ("Guidelines") to help provide direction.

The goal of the Guidelines is to help property owners make informed decisions regarding their historic buildings, and as feasible retain their authenticity and architectural features. Historic buildings create a comfortable and interesting setting for pedestrians; attract businesses, residents, shoppers and tourists; and contribute to the commercial vitality of an area.

Many buildings in Bellingham's urban villages have historic value, even those that have undergone alteration. It is important to consider the significance of the basic forms, materials and details of a building when planning improvements.



Herald Building, photo by Todd Edison

## HISTORIC BUILDINGS HELP:

- **Tell the story** of a place by providing a tangible link to the past
- **Quickly make a building available** for occupancy
- **Invigorate the economy** by creating an attractive setting and a **distinct market image**
- **Support heritage tourism** strategies
- **Protect the environment** by reducing waste



# Historic Guidelines Introduction

## HISTORIC PRESERVATION BACKGROUND

Historic preservation principles, goals, polices and laws have been developing formally for decades in the United States, in Washington State, and in the City of Bellingham.

### FEDERAL

Background policies and legislation at the federal level began with the [1966 Historic Preservation Act](#). This created the [National Register of Historic Places](#), the list of [National Historic Landmarks](#) and the [State Historic Preservation Offices](#). The National Park Service oversees these programs. The Secretary of the Interior's [Standards for the Rehabilitation of Historic Buildings](#) were developed by the National Park Service to be applied to rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. The Standards are neither technical nor prescriptive but instead meant to promote responsible preservation practices that would help protect the nation's irreplaceable cultural resources. The Standards serve as the philosophical foundation for these Historic Design Guidelines.

### STATE

The [Washington State Department of Archaeology & Historic Preservation \(DAHP\)](#) provides information and technical assistance for the state's historic buildings and archaeology, including how to nominate properties to the State and National Register of Historic Places; offering funding to local governments; technical assistance on preservation of buildings, sites, districts and objects; and many other services.

### LOCAL

The City of Bellingham has supported the preservation of its historic and cultural resources since 1986 when it adopted the Landmark Preservation Ordinance to recognize and protect its historic landmarks. Today, the ordinance has been updated, and [Chapter 17.90 Historic Preservation Ordinance](#) further provides for the identification, evaluation, designation, and protection of designated historic resources within the boundaries of the City of Bellingham. The City also offers incentive for the preservation and rehabilitation of eligible historic properties through a property tax incentive (Special Valuation), the allowance of adaptive uses, and flexibility in the building code.





# Historic Guidelines Introduction

## LOCAL RESEARCH RESOURCES

Historic photographs, plans and articles are an essential source of information for a historic building project. Historic research materials and assistance are available at the following:

- [Whatcom Museum Photo Archives](#)
- [Center for Pacific Northwest Studies](#)
- [Bellingham Public Library](#)
- [Northwest Regional Branch of the Washington State Archives](#)
- [City of Bellingham Historic Preservation Resources](#)
- Additional Historic Preservation Resources

For additional guidance on specific topics, refer to the National Park Service's series of [Preservation Briefs](#), and refer to [Preservation Brief #17: Architectural Character—Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character to learn more about the visual character of your building.](#)

## PURPOSE

These Historic Design Guidelines establish a baseline for historic preservation and design and help guide the preservation, rehabilitation and restoration of and additions to historic buildings in Bellingham's urban villages.

Proposals are reviewed for compliance, to the greatest extent feasible, with the intent of applicable guidelines. The City offers financial incentives, as well as flexibility in land use and building code compliance, for projects that meet the intent of the Guidelines.



# Historic Guidelines Introduction

## PRESERVATION INCENTIVES

The Guidelines can help your historic building project become eligible for:

### Financial Savings

- [Special Tax Valuation](#)
- [Federal Tax Credits](#)

### Alternative Land Uses

- [Adaptive Use Permit](#)

### Building Code Flexibility

- [International Existing Building Code](#)

Contact PCDD staff to find out if your building project is eligible for preservation incentives.

Property owners, developers, and builders are strongly encouraged to enlist the assistance of qualified design and planning professionals, including architects and preservation consultants, for the best possible outcome.

Early consultation with Planning and Community Development Department staff is recommended for any project involving a historic building. Call, email, or visit the Permit Center and ask to meet with a Historic Preservation Planner.

Email: [planning@cob.org](mailto:planning@cob.org)

Phone: (360) 778-8300

TTY: 711 (Washington State Relay)

Permit Center, First Floor City Hall

210 Lottie Street

Bellingham, WA 98225



# Historic Guidelines Introduction

## PRESERVATION PRINCIPLES

The Guidelines provide a basis for making decisions about the appropriate treatments of historic buildings and are philosophically based on the [Secretary of the Interior's Standards for Rehabilitation](#).

A basic principle of preservation is to minimize disturbance to the historic building fabric, and to maintain and protect character defining features to the greatest extent possible. Therefore, in the treatment of a historic building, it is best to preserve rather than replace features that remain in good condition. For those features that are deteriorated, repair is preferred over replacement. When replacement is necessary, it should be done in a manner similar to what existed historically. Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses, while at the same time retaining the property's historic character.

The Standards for Rehabilitation embody two important goals:

- 1) the preservation of historic materials
- 2) the preservation of a building's distinguishing character

## HISTORIC BUILDING TREATMENTS

Depending on the condition and remaining features of a historic building, one or more of the following treatments may be appropriate:

- **Preservation** focuses on the maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time.
- **Rehabilitation** acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.
- **Restoration** depicts a property at a particular period of time in its history, while removing evidence of other periods.
- **Reconstruction** re-creates vanished or non-surviving portions of a property.



# Historic Guidelines Introduction

## APPLICABILITY

For the purposes of these Guidelines, historic buildings are defined as those that are:

- Listed in the Bellingham Local Historic Register, [Washington State Heritage Register](#) and/or the [National Register of Historic Places](#); or
- Potentially eligible to be listed in the Local, State and/or National Historic Registers\*; or
- Listed or potentially eligible to be listed as a contributing building in a Local, State or National Historic District.

\*Generally, a property must be at least 50 years old and retain architectural features expressive of its period of historic significance to be considered eligible for historic designation. In some cases, buildings and structures less than 50 years old may be considered historic.

**NOTE:** Changes to properties listed in the **Bellingham Local Historic Register** or as a contributing property to a **Local Historic District** may require a [Certificate of Alteration](#) under [Bellingham Municipal Code \(BMC\) 17.90.060](#).

The Guidelines apply to **exterior modifications**. Except in some cases for buildings listed in the Local Bellingham Historic Register, interior changes do not require design review.

**Contact the City of Bellingham Planning and Community Development Department (PCDD)** to determine if your building is considered historic, and if your project will require a Certificate of Alteration. Technical assistance is available, and applicants are encouraged to review the Guidelines and contact staff early in their project to ensure an efficient and streamlined review process.



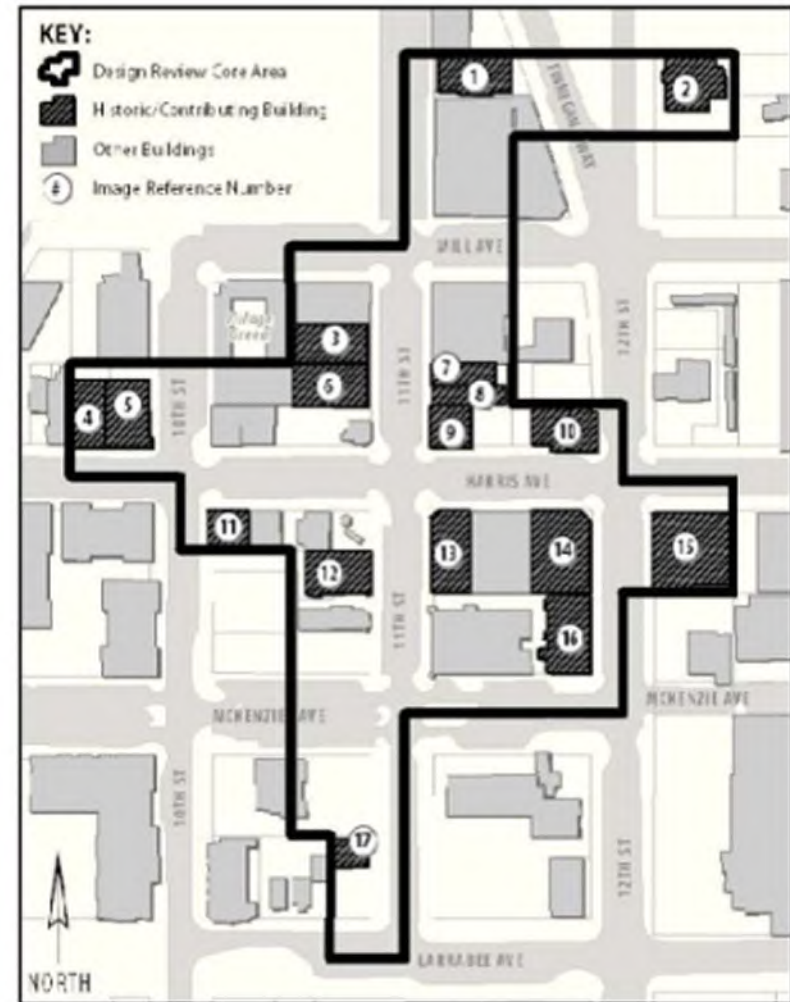
# Historic Guidelines Introduction

## A NOTE ABOUT NATIONAL REGISTER HISTORIC DISTRICTS

The Department of the Interior/National Park Service defines National Historic Districts as possessing a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development”.

Fairhaven and Downtown both have a National Register Historic District at their core. National Register designation provides no protection for buildings, but does offer a basis of information that clarifies the significance of buildings on an individual and collective basis. Additionally, contributing buildings in a National Historic District may be eligible for tax savings, as well as land use and building code flexibility.

Visit the [City of Bellingham’s Historic Buildings Interactive Map](#) to see if your building is listed, or located in a National Historic District. Other urban villages -- Old Town, Samish Way and the Waterfront – while not designated as historic districts, have individual buildings that contribute to the character of each village, each with styles expressive of the periods in which they were built.



Fairhaven was Designated a National Historic District in 1977



# Historic Guidelines Introduction



The Downtown Bellingham National Historic District was designated in 2012.



Burlington Northern Passenger Depot, **Old Town Urban Village**.

NOTE -- a portion of the Downtown National Historic District is located in the Old Town Urban Village boundary.



Boomer's Drive Inn in **Samish Way Urban Village** is expressive of the auto-oriented architecture of Old Highway 99.



Fairhaven National Historic District, designated in 1977.



The Fountain Animal Hospital, built in 1940 in the **Fountain District Urban Village**, was designed in the Art Moderne style.

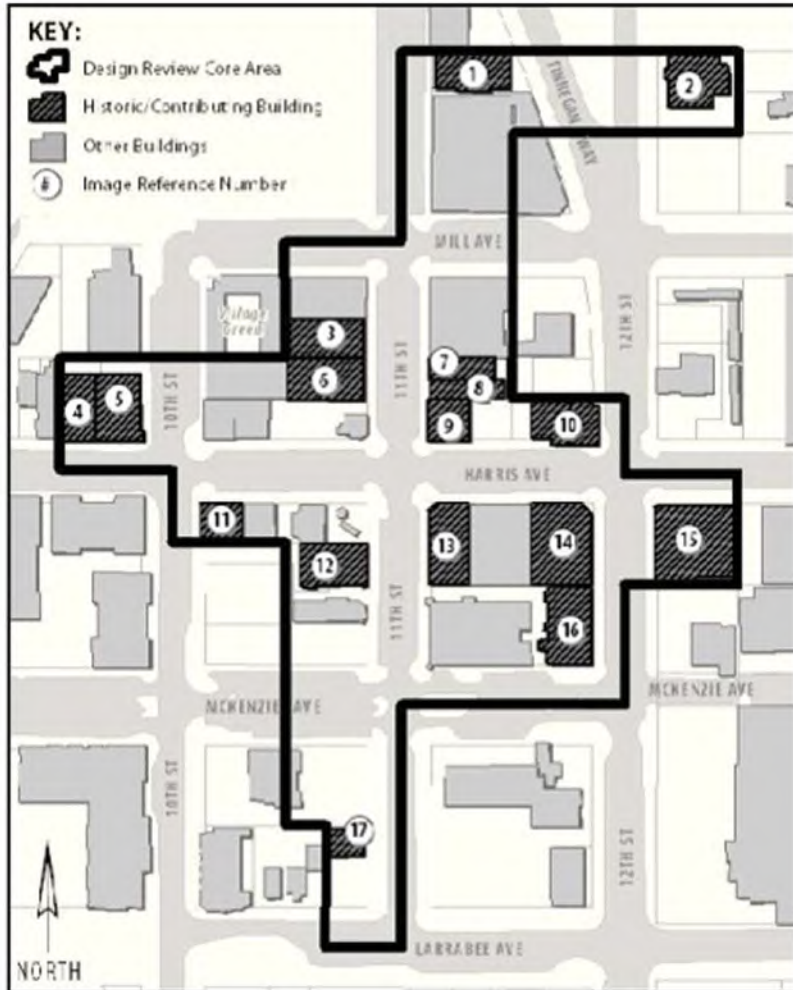
NOTE -- a portion of the Eldridge National Historic District is located within the Fountain District Urban Village boundary.



The Granary Building, **Waterfront Urban Village**.



# Historic Guidelines Introduction



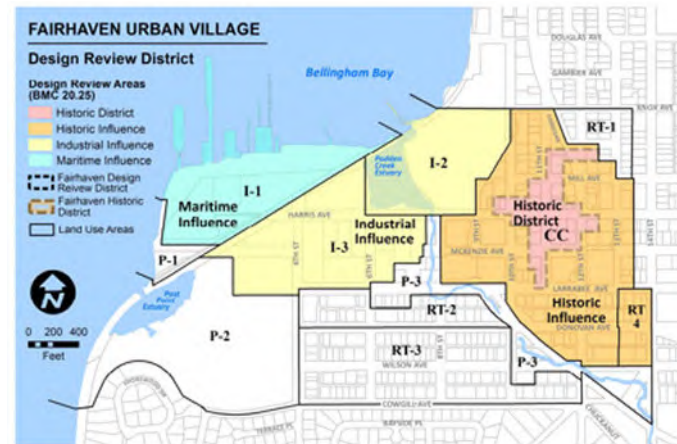
Detail of Fairhaven National Historic District Design Review Area, showing contributing buildings and those individually listed on the National, State and/or Local Registers.



Winter in Fairhaven, photo by Jeff Barclay



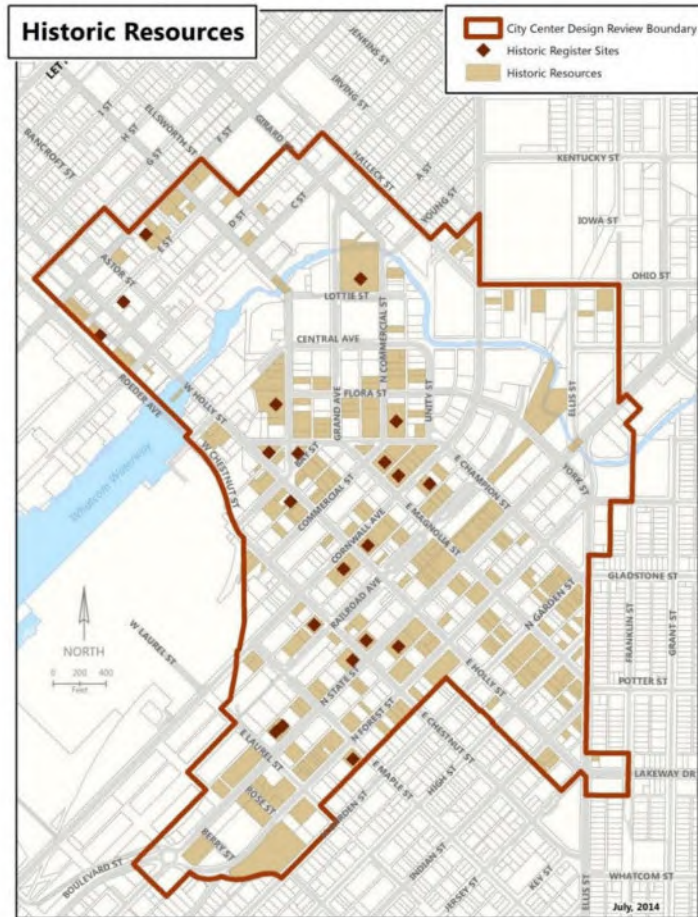
Corner of 10th & Harris, photo by Nick Cote



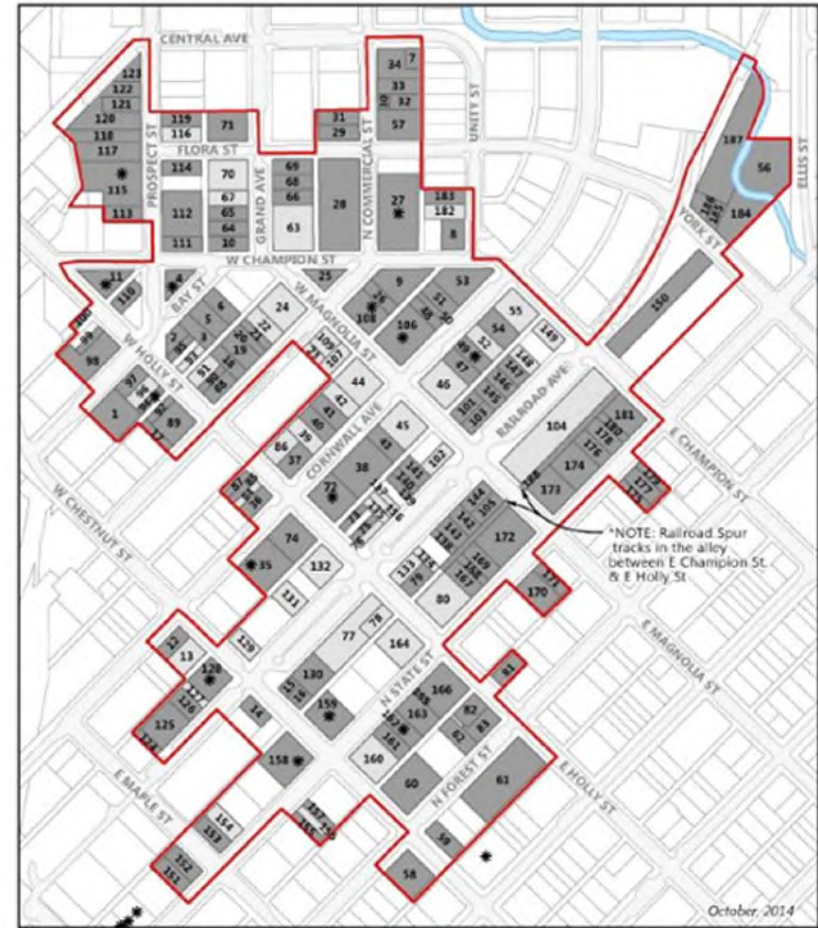
Map of the Fairhaven Design Review District.



# Historic Guidelines Introduction



Map of the Downtown Design Review District.



Map of the Downtown Bellingham National Historic, showing contributing buildings and those listed individually on the National, State and/or Local Registers. [Click here to go to the Downtown Bellingham National Register Nomination for specific building information.](#)





# Historic Guidelines Introduction

## CHARACTER DEFINING FEATURES

Every old building is unique, with its own identity and distinctive character. Character refers to all those visual aspects and physical features that comprise a building's appearance. Character-defining features include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.



Visit [City of Bellingham](#) for more information on character defining features.

[DAHP style page](#)

## ADAPTIVE USE

The best use for a historic building is that for which it was designed. Because this is not always possible, determining a new use that is compatible with the existing layout and structure of the building, and does not adversely affect its historic integrity and character is important. Every effort should be made to provide a new use that will require minimal alteration to the building and its site.



Cascade Laundry Building

## ACCESSIBILITY

As applicable, historic property owners should comply to the fullest extent possible with Americans with Disabilities Act (ADA) provisions, while also preserving the integrity of the character-defining features of their buildings and sites. Design alterations to improve access for persons with disabilities while minimizing adverse effects on historic character and materials.



A new elevator entrance was provided next to the stairs to provide universal access to the services inside. Photo: Courtesy, GSA

# Historic Guidelines Glossary

**Historic Building** | For the purposes of these guidelines, a “historic” building is generally over 50 years old (some buildings under 50 years old may be considered historic) and retains its original architectural features, regardless of their physical condition. A historic building is considered “eligible” for listing in the Local, State, and/or National Historic Registers if it retains integrity of its original design and architectural features. In some cases, a building that has been altered or has deteriorated physical condition can be restored to the extent that it would be considered eligible.

**Historic Significance** | Historic significance is the importance of a property to the history, architecture, archaeology, engineering, or cultural of a community, state, or the nation. Significance is achieved in several ways: association with events, activities or patterns; association with important persons; through distinctive physical characteristics of design, construction, or form; or through its potential to yield important information about history or prehistory.

**National Register of Historic Places** | The National Register of Historic Places (NRHP) is the nation's official list of districts, sites, buildings, structures, and objects significant in American history, architecture, archeology, engineering, and/or culture. National Register properties have significance to the history of their community, state, or the nation. The National Park Service administers the NRHP.

**Washington Heritage Register** | The Washington Heritage Register (WHR) is an official listing of historically significant sites and properties found throughout the state. Maintained by the Department

of Archaeology & Historic Preservation, the WHR includes districts, sites, buildings, structures, and objects that have been identified and documented as being significant in local or state history, architecture, archaeology, engineering and/or culture.

**Bellingham Register of Historic Places** | The Bellingham Register of Historic Places (BRHP) identifies buildings, objects, sites, and districts that reflect special elements of Bellingham's architectural, cultural, archeological, aesthetic, and historical heritage. Financial incentives and building code and land use relief are a few of the benefits offered to buildings listed on the BRHP. These properties are officially protected under City ordinance. For changes to BRHP-listed properties, a Certificate of Alteration is required, with review under BMC 17.90.060.

**Contributing Building** | A “contributing building” is one that is determined to be historically significant within a historic district.

**Non-contributing Building** | A “non-contributing building” is one that has been determined to not be historically significant within a historic district.

**“Compatible” Design** | Buildings from different eras and styles are considered to be compatible when they share the same underlying principles of space, structure, features, composition, proportion, ornament, and character as neighboring buildings. If these principles are consistent buildings will be compatible, regardless of style.

# H1

## Historic 1

# Historic Building Design Guidelines

**CHARACTER-DEFINING** | Character-defining features collectively provide interest, a human scale and add detail to the streetscape. Whenever possible, historic architectural character-defining features should be preserved.

**INTENT:** Historic buildings in urban villages and National Historic Districts retain features that contribute to the story of the place.

### GUIDELINES

1. Preserve character-defining features that are intact.
  - Don't remove or damage character-defining features.
  - Preserve intact features with appropriate maintenance techniques.
  - When disassembly of a historic element is necessary, carefully identify how it will be stored during your rehabilitation project. Store them in a safe place until they are re-installed.
2. Repair features that are damaged.
  - Use methods that will not harm the historic materials
  - Repair work is preferred over replacement.
3. Replace features that are missing or beyond repair.
  - Reconstruct only portions that are damaged beyond repair.
  - Reconstruct the original element, based on adequate evidence, if possible. This is the strongly preferred option.



Raised metal letters in cornice on Dahlquist Building

**DESIGN OF ALTERATIONS** | Buildings may undergo alterations over time. New alterations often occur when original material is missing and new interpretations of traditional elements become necessary.

**INTENT:** Plan alterations to preserve the building's integrity.

### GUIDELINES

1. Design an alteration to be compatible with the historic character of the property.
  - Avoid alterations that would hinder the ability to interpret the historic significance of the original building.
  - Alterations that seek to imply an earlier period than that of the building are inappropriate.
2. Avoid alterations that damage historic features.
  - For example, mounting a sign panel in a manner that causes decorative moldings to be damaged would be inappropriate.



# H2

## Historic 2

# Historic Commercial Buildings

**TRADITIONAL COMMERCIAL** | The traditional historic commercial building, constructed between the mid-19th and early 20th centuries, is often what one thinks of in a historic commercial district. This form appears in the Downtown and Fairhaven National Historic Districts, and throughout many of Bellingham's urban villages.

While distinct in many ways, these buildings share a common architectural language. Most are built of brick and other masonry materials. Designed in a variety of styles, an overall compatibility is expressed through common features.

Depending on its placement on a block, a building may have two primary façades, both with features that should be preserved. If located on a corner lot, a building may have more than one primary entrance. Greater flexibility in the treatment of a rear facade may be appropriate if it does not have significant architectural features.



The Monahan Building in Fairhaven Historic District

# H2

## Historic 2

# Historic Commercial Buildings

**ART DECO/MODERNE** | Art Deco buildings have a sleek, linear appearance with stylized, often geometric ornamentation. The primary façade of Art Deco buildings often feature a series of set backs that create a stepped outline. Low-relief decorative panels can be found at entrances, around windows, along roof edges or as string courses. Art Deco buildings feature distinctive smooth finish building materials such as stucco, concrete block, glazed brick or mosaic tile. Decorative details can incorporate various artistic or exotic motifs to suit the building's function or the architect's whim. Chevrons, zigzags, and other geometrical motifs are common forms of ornament on Art Deco style buildings. Since the Art Deco style was seen as a rejection of historic precedents in its use of new construction technology, it was particularly suitable for the design of the 20th century's newly emerging building form, the skyscraper.





# H2

## Historic 2

# Historic Commercial Buildings

**MID CENTURY MODERN/POST MODERN** | During the mid-twentieth century unparalleled and dramatic changes in the design of commercial buildings transpired across the United States.

Asymmetrical and angled Herculite storefronts reduced glare while their diagonal plans coaxed the shopper into the store. Picture-framed, cantilevered, projecting, or inset display cases were crafted out of tempered-glass aluminum framing. Tempered-glass storefronts turned well-lit store interiors into a new form of window display. Vertically stacked textured brick and tile or structural glass grounded and contrasted with sleek white or gold metals.



The Hub Clothiers in Springfield, IL

# H3

## Historic 3

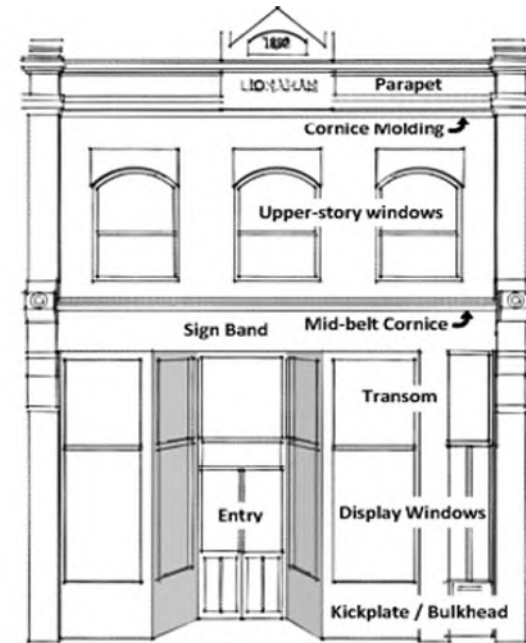
# Historic Commercial Building Guidelines

**STOREFRONTS** | Character-defining features collectively provide interest, a human scale and add detail to the streetscape. Whenever possible, historic architectural character-defining features should be preserved.

**INTENT:** The primary façade on a historic commercial building is a crucial feature that should be preserved, restored and/or rehabilitated, and warrants special consideration. Repairing or reconstructing missing features is a key goal.

## GUIDELINES

1. A rehabilitation project should preserve these character-defining elements of a historic commercial building:
  - **Display windows:** The main portion of glass on the storefront, where goods and services are displayed.
  - **Transom or sign band:** The upper portion of the display, separated from the main display window by a frame.
  - **Kickplate:** Found beneath the display window. Sometimes called a bulkhead panel.
  - **Original Entry:** Usually set back from the sidewalk in a protected recess.
  - **Upper story windows:** Windows located on the second story area. These usually have a vertical orientation and appear to be less transparent as the large expanse of glass in the storefront below.
  - **Cornice molding:** A decorative band at the top of the building. A mid-belt cornice may sometimes be found separating some floors (e.g., a storefront from the upper story.)



Major components of “traditional” historic commercial building façade

2. If a storefront is intact, preserve, restore and/or repair architectural features.
  - Do not alter a storefront opening’s size and shape.
  - If intact, preserve the storefront glass. If not intact, replace in-kind -- do not use reflective, opaque or tinted glass.
  - Repair historic storefront elements by reinforcing historic materials. Use in-kind materials such as masonry and wood when replacement is necessary.

# H3

## Historic 3

# Historic Commercial Building Guidelines

3. If a storefront has been altered and information is available, consider restoring the original design.
  - Use historic photographs, articles and building plans to determine a storefront's original design.
  - Consider exposing historic storefront elements that have been covered in past "modernization" episodes.
  - In some cases, an original storefront may have been altered early in the history of the building and taken on significance. It may be appropriate to preserve such changes.
  - If replacement with a traditional material is not possible, use a compatible substitute that is similar in scale, finish and character, and has proven durability in the local climate.
  
4. If the original façade has been altered and information is not available, a simplified interpretation may be appropriate.
  - The new design should convey the character of a historic storefront, relating to the size and transparent character of the display window, recessed entryway, cornice, etc.
  - The storefront should be designed to provide interest to pedestrians but should not create a false sense of history.



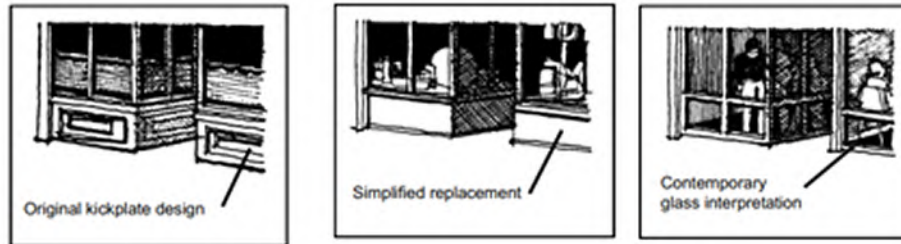
The Barlow Building, restored to original 1892 façade after past modernization effort



# H3

## Historic 3

# Historic Commercial Building Guidelines



*Retain the kickplate as a decorative panel. If the original is missing, develop a sympathetic replacement design.*

**DOORS AND ENTRYWAYS** | The repetition of recessed entries along the street creates a rhythm of shadows, establishes a sense of scale, creates visual interest and helps identify business entrances.

**INTENT:** Doors and entryways are important features that help convey a building's historic character. Whenever possible these elements should be preserved.

### GUIDELINES

- Where they exist, maintain the original proportions, appearance, size and shape of a primary exterior door and recessed entry. Restore those that have been altered.
  - Don't remove or damage character-defining features.
  - Preserve the decorative and functional features of a primary entrance, which may include the door, door frame, threshold, glass panes, paneling, hardware, detailing, transoms and flanking sidelights.
- Avoid creating entries that are flush with the sidewalk. Where entries were originally designed to be flush, maintain them in their original position, as feasible within code requirements (door width, swing and construction).

- Repair a damaged historic door to restore its original appearance.
- When a new door is needed it should be in character with the building -- especially on primary facades. If a door must be replaced, use materials and design similar to that of the original, or use a door of the same building style.
- If a door size must be altered, maintain the original opening size and position. This is especially important for primary entry doors.
- Maintain original glass size in display windows, doors and recessed entries and avoid altering their shape. If these elements have been altered, restore them if historic information is available.

# H3

## Historic 3

# Historic Commercial Building Guidelines

### KICKPLATES

**INTENT:** Designed as a decorative panel located below the display window, a kickplate (or “bulkhead”) adds interest and detail to the façade and should be preserved.

### GUIDELINES

1. Expose and restore an original kickplate that has been covered with another material.
2. The original kickplate is missing and no information of its historic appearance exists, develop a compatible replacement design.
  - Wood or masonry is an appropriate material for a replacement on most styles. Alternative materials may be considered as appropriate.

# H3

## Historic 3

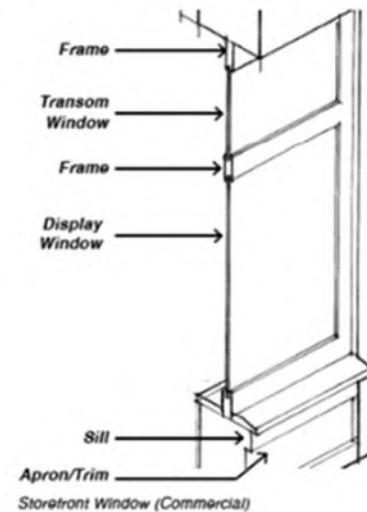
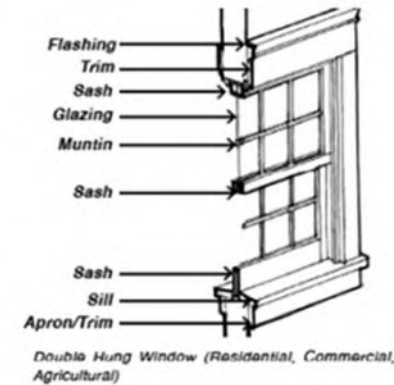
# Historic Commercial Building Guidelines

## WINDOWS

**INTENT:** Upper-story windows are one of a historic commercial building's most important character-defining features and should be preserved.

## GUIDELINES

1. Preserve the position, size, number and arrangement of original windows in a building wall. Do not enclose an original window opening or create a new opening on a primary facade.
  - Upper story windows were often designed with a vertical emphasis. Their proportions contribute to the character of a commercial building façade and should not be blocked down or altered in size.
  - Consider re-opening windows that are currently blocked.
  - Repair rather than replace frames, sashes and decorative features of a building's original windows. Preserve the character of divided light pattern of historic windows.
2. If original windows are missing, replace with those that are the same size, shape, appearance, and materials of the original.
  - Convey the character of traditional sash divisions in a replacement window by matching the profile of the sash and its components to that of the original. If the original window was double-hung, use a similar replacement, or one that appears as such.
  - Match the number and position of glass panes.



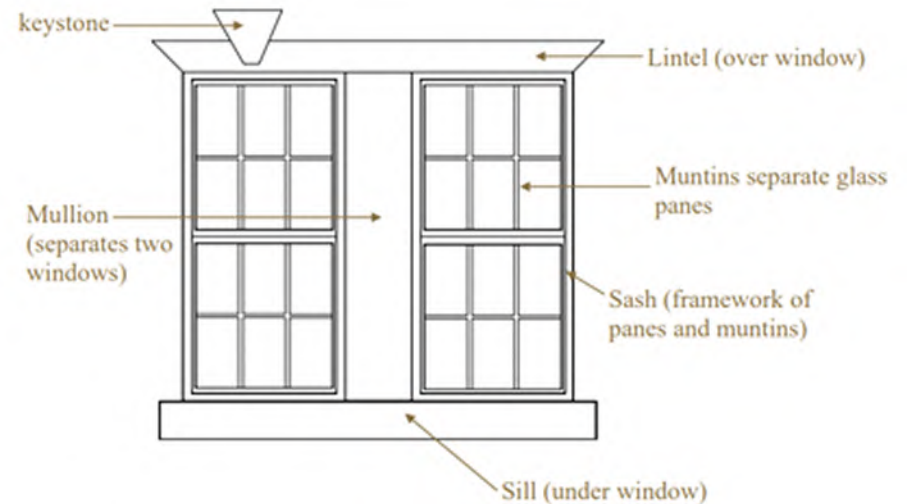
**Illustration 4.1.** The upper diagram illustrates a typical double-hung window, traditionally used for residential, commercial and/or agriculture buildings. The lower illustration depicts elements of a typical storefront, or commercial window.

# H3

## Historic 3

# Historic Commercial Building Guidelines

- Muntins that divide a window into smaller panes should be either genuine or simulated divided lights, with a depth and shadow line similar to the original. Snap-on “grills” are not appropriate.
3. On primary facades, use the same material as the original windows.
    - A substitute material may be used if the components are similar to the original in dimension, profile and finish.
    - Vinyl and unfinished metals are inappropriate replacement materials for traditional historic wood windows. Aluminum-clad windows may be appropriate.
  4. New glazing should be clear, to convey the visual appearance of historic glazing.
  5. If historic windows were previously replaced with 1950's - 1980's aluminum or vinyl windows, it is appropriate to replace these with higher quality, more energy efficient units more in character with the building's original windows.



# H3

## Historic 3

# Historic Commercial Building Guidelines

### TRANSOMS

**INTENT:** The transom, a window consisting of a horizontally oriented glass band above the ground floor display window or entrance, is an important feature of the overall proportion of a historic storefront. Whenever possible a transom should be preserved or restored in its original configuration.

### GUIDELINES

1. Retain the original shape of the transom glass in an historic storefront. Bands of transom windows should not be removed or enclosed.
2. If the original transom glass is missing, installing new glass is preferred.
  - If a transom must be blocked for use as a sign panel, retain the original proportions and configuration so it might be restored in the future

### CORNICES AND PARAPETS

**INTENT:** Most historic commercial buildings were designed with a cornice, and often a parapet that caps the façade and provides upper-story interest. These elements should be preserved.



### GUIDELINES

1. If remaining, preserve or restore a building's cornice and parapet. A substitute material may be used if the components are similar to the original in dimension, profile and finish.
  - Match replacement elements to those of the original, especially in overall size and profile.
  - Appropriate materials may include stone, brick and stamped metal, wood or a durable synthetic. Fiberglass may also be appropriate.
2. If a cornice or parapet is missing, consider reconstruction if historic design information is available.
3. Addition of a new cornice, parapet or building name where none originally existed is not recommended.

# H3

## Historic 3

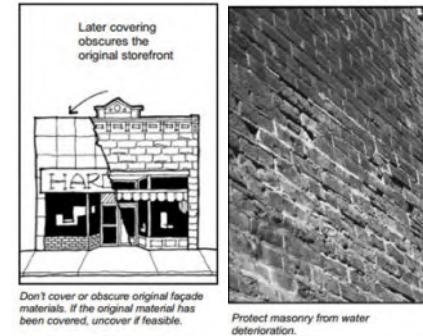
# Historic Commercial Building Guidelines

## FACADE MATERIALS

**INTENT:** Historic exterior building materials provide a sense of scale, texture and character to the streetscape, as well as conveying the work of skilled craftspeople. These qualities should be preserved and/or restored.

## GUIDELINES

1. Brick, stone and wood were the main building materials and should be restored, repaired or replaced in-kind.
  - Do not cover or obscure original façade materials.
  - If the original material has been covered, expose it if feasible.
  - Do not paint natural colored masonry. However, if masonry was painted historically, it may be appropriate to repaint.
2. If material replacement is necessary, use materials similar to those used historically.
  - Masonry, either brick or stone, and wood were the primary wall material for most buildings in this region.
  - Wood and metal were used for window, door and storefront surrounds.
  - Substitute materials may be used if they closely match the original in appearance, finish and profile.
3. Protect historic material surfaces. Don't use harsh cleaning methods that damage the finish of historic materials.
4. Protect masonry from water deterioration. See Preservation Brief #1 for more information.
  - Provide proper drainage so water does not stand on flat surfaces or accumulate in decorative features. Provide a means to drain water away from foundations.
  - Use a sealant, or clear coat, to protect masonry only when necessary. A sealant will prevent proper breathing and cause moisture to be trapped inside the masonry.



# H4

## Historic 4

# Additions to Historic Commercial Buildings

**DESIGNING THE LOCATION OF AN ADDITION** | An exterior addition to a historic building should be considered only after determining that a new use cannot be accommodated by altering non-significant interior spaces.

**INTENT:** Additions are often made over time to historic commercial buildings, as uses change or more space is needed. In planning a new addition, the goal is to minimize loss of a building's historic character and significant features. Opportunities for addition placement may be limited. There are two types of additions: ground level additions, which involve expanding a structure's footprint, and roof additions.

### GUIDELINES

1. Locate ground level additions to the rear or side of a building where they create the least impact to historic character..
2. Design a roof addition to be simple in character and set back from the front plane of a building.
3. Design additions to be compatible with the original building and not detract from the original material, character or scale.
  - The addition's materials, window size and placement, and alignment of architectural elements should align, relate, and be compatible with those of the existing structure.
4. An addition should appear subordinate to the main structure, and should be similar in mass and form, yet be distinguishable from the original building.
  - Design an addition so that the character of the original building can still be interpreted.
  - Design an addition so it does not damage or obscure architecturally significant features.

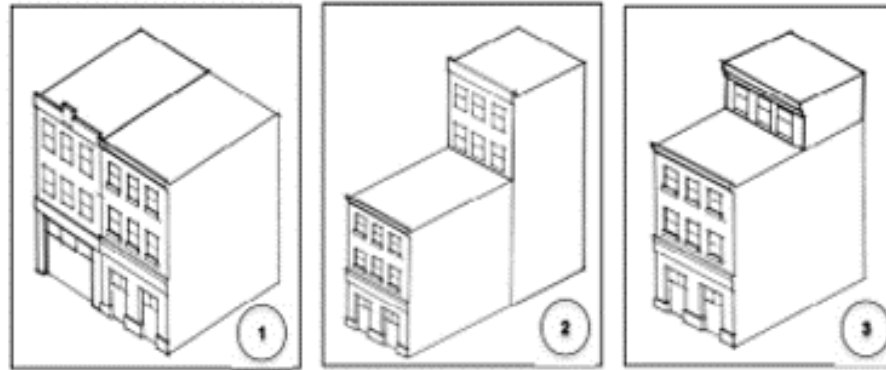


Set-back roof addition to historic commercial building

# H4

## Historic 4

# Additions to Historic Commercial Buildings



Three examples of acceptable additions

5. Design an addition so the historic character of the original building can still be interpreted.
  - A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate. For example, an addition that is more ornate than the original building would be out of character.
  - An addition that seeks to imply an earlier period than that of the building is also inappropriate as it creates a false sense of history.
6. An addition made to the side of a building should maintain the alignment of storefront elements, moldings, cornices and upper story windows of the existing building.
7. An addition made to the roof of a building should maintain the historic building's street presence as related to its height, mass and character.
  - A roof addition should be set back from a primary, character-defining facade, to preserve the perception of the historic scale of the building.



# H4

## Historic 4

# Additions to Historic Commercial Buildings

### ADDITION OF HANDRAILS

**INTENT:** The addition of handrails may be necessary to address accessibility and life / safety issues but should not detract from the character of the original building.

### GUIDELINES

1. A new railing or an addition to an existing railing should be simple in design. Simple metal work and wood are appropriate for new railings.
  - A railing should appear as mostly transparent, with equal or lower ratios of solid-to-void of baluster-to-opening.
2. If a taller railing than the original is required by building code, add a railing above the original to achieve a greater overall height without changing the appearance of the original.
  - Design the new railing to be visually subordinate to (thinner and less detailed than) the original.

### ADDITION OF BALCONIES

**INTENT:** The addition of balconies can increase use options and long-term viability for historic commercial buildings.

### GUIDELINES

1. Design a balcony addition to be in character with the original building, yet simple in design.
  - The balcony should appear mostly transparent. Achieve solid-to-void ratios with balusters and rails.
  - Simple metal work with a dark matte finish is most appropriate on commercial buildings.
  - Heavy timber and plastics are inappropriate materials, as are glass and plexiglass.
2. Mount a balcony to accentuate character-defining features. Where possible, locate a balcony within existing openings. Balcony supports should align with existing building elements.

# H4

## Historic 4

# Additions to Historic Commercial Buildings

### AWNINGS AND CANOPIES

**INTENT:** Awnings promote sidewalk activity and protect pedestrians from the weather. Both operable and fixed metal type awnings are appropriate, but regardless of type, an awning's design should relate to the building's architecture, and not obscure character defining features.

### GUIDELINES

1. Design an awning or canopy to be in scale with the building and streetscape.
2. Mount an awning or canopy to accentuate character- defining features. Locate so as to fit into existing building openings.
3. Awnings should not overwhelm the façade and should be a subordinate feature.
4. Appropriate supporting mechanisms for metal awnings include wall-mounted brackets and chains consistent with the style of the building.
5. Operable awnings are an energy efficient mechanism for managing interior light and air and are encouraged.
6. Internal illumination of an awning is inappropriate, but light fixtures that shed light down onto walkways and features below the awning are encouraged.



Avoid odd-shaped awnings



Recommended awning style

# H4

## Historic 4

# Additions to Historic Commercial Buildings

**BUILDING LIGHTING** | The character and level of lighting used on a building deserves special attention. Traditionally, exterior lights were simple in character and were used to highlight signs, entrances, and ground floor details. Most fixtures had incandescent lamps that cast a color similar to daylight, were relatively low intensity and were shielded with simple shades.

**INTENT:** The overall effect of modest and focused building light should be continued. Lighting design should enhance the historic character of the street as seen at night. Lighting should not overwhelm and should facilitate safety and security. Use building lighting to accent entrances and architectural details, and to illuminate sidewalks and signs.

### GUIDELINES

1. Design lighting to accent architectural details, building entries, signs and to illuminate sidewalks. Use lighting as it was used historically in the area:
  - Shielded lighting is preferred.
  - Lighting should not dominate a facade or the street.
  - Washing the entire facade with light in some cases may be appropriate.
2. Minimize the visual impacts of architectural lighting. Use shielded and focused light sources to prevent glare. Provide shielded and focused light sources that direct light downward.

3. Use lighting fixtures that are appropriate to the building and its surroundings in terms of style, scale and intensity of illumination.
4. Up-lighting should only be used where an architectural detail, such as an extended cornice or sill, will block the lighting.
5. When installing architectural lighting on a historic building, documentation of historic lighting should be used as a basis for the new design. If no evidence exists, use a simplified design that relates to the building style.
6. Building lighting should be installed to minimize damage to a building's original material and should be reversible.
7. Attach new lighting fixtures to mortar, rather than drilling through bricks on historic buildings.

# H4

## Historic 4

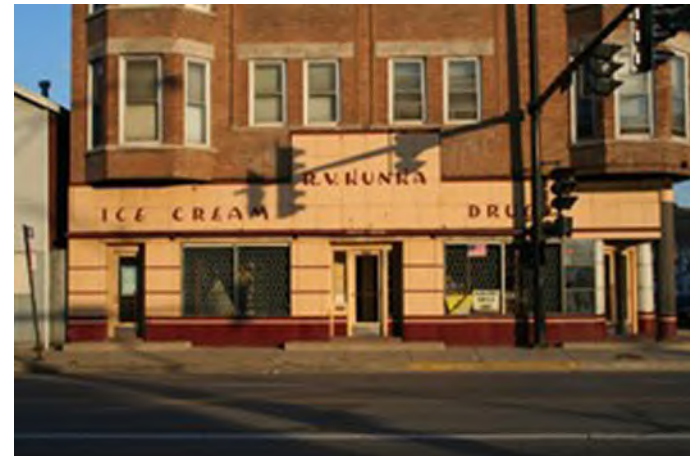
# Additions to Historic Commercial Buildings

### EXISTING HISTORIC ADDITIONS

**INTENT:** Some early additions may have taken on historic significance of their own. Conversely, it may be appropriate to modify or remove more recent additions that detract from the historic character of a building.

### GUIDELINES

1. Additions over 50 years old that are similar in character to the original building's materials, finishes, and design, and that may reflect the workmanship of a master should be preserved.



# H5

## Historic 5

# Historic Residential Building Guidelines

## FORM AND FACADE

**INTENT:** Residential forms and facades add interest and help tell the story of how an area developed over time. It is a goal to preserve the character defining features of these historic residential buildings.

## GUIDELINES

1. Preserve the character-defining architectural elements of a residential building. Elements may include:
  - **Porches**, which create depth and interest to a building. Typically, these are a one-story covered, unenclosed or enclosed entry element. A porch floor commonly matches the height of the first floor and is supported by columns and has a baluster.
  - **Doors**, both primary entrance and secondary, provide character to a historic residential building. Doors are often made of wood, sometimes with partial glazing.
  - **Windows** are a major contributor to the character of a historic residential building. Depending on the style and period constructed, windows may be double-hung, casement, sliding, awning, fixed, or glass block – or a combination of these. Divided lights were common on pre-modern buildings.
  - **Trim details**, often in wood that covers transition between building elements. This is sometimes a decorative molding.
  - **Eaves**, the portion of the roof that overhangs the vertical walls.

- **Exposed Rafters**, the structural component at eaves, common in the Craftsman style.
- **Dormers**, a window that projects vertically from the roof or wall and is subordinate to the primary roof.
- **Attic window or vent**, an opening in a gable end.



Many 20th century homes contribute to Downtown National Historic District

## DOORS AND WINDOWS

**INTENT:** Preserve original window and door openings, components, and materials.

## GUIDELINES

1. Refer to "Windows" section of Historic Commercial Buildings.

# H5

## Historic 5

# Historic Residential Building Guidelines

### ROOFS

**INTENT:** The character of a historic roof should be preserved, including its form and materials. The shadows created by roof overhangs contribute to the perception of a building's scale, and to its architectural character.

### GUIDELINES

1. Do not alter the angle or pitch of a historic roof. Maintain the line and orientation of the roof as seen from the street.
2. Preserve the original eave depth of a roof. Do not cut back roof rafters and soffits or in other ways alter the traditional roof overhang.
3. Preserve original roof materials and decorative elements such as crests, chimneys, roof detailing, gutters and downspouts.
4. New roofing materials should convey a scale and texture similar to those used traditionally. Roof replacement material shall be compatible with the architectural style of the structure.
5. Composition shingle roofing can be appropriate replacements for wood shingles and should have a color similar to the original. Shingles that contain embedded photovoltaic systems are also appropriate in dark colors. Specialty materials such as tiles should be replaced with a matching material.
6. Do not add features to a roof, such as a "widow's walk" (an ornate railing around the roof ridge) where there is no evidence that one existed.
7. Minimize the visual impacts of skylights and other rooftop devices.
8. A skylight that is flush with the roof plane may be considered where it remains visually subordinate. Skylights be located below the ridge line and not interrupt the plane of the original roof.
9. Locate electronic data transmission and receiving devices where they are not visible from the right-of-way.



Originally Kulshan Club, these now apartments contribute to Fairhaven National Historic District

# H5

## Historic 5

# Historic Residential Building Guidelines

### PORCHES

**INTENT:** A porch is one of the most important character-defining elements of a façade. It provides visual interest and influences perceived scale and should be preserved.

### GUIDELINES

1. When replacement of a porch is necessary, it should be similar in character, design, scale and materials to those seen traditionally.
2. Preserve a porch in its original condition and form, and as possible, maintain the existing location, shape, details and posts of the porch.
3. Repair rather than replace deteriorated elements of a porch. Replace missing or deteriorated decorative elements to match existing elements; e.g., match the original proportions and spacing of balusters and porch posts.
4. The size of a porch should relate to the overall scale of the primary structure to which it is attached.
5. If possible, base the replacement design on the original design. Where no evidence of the original exists, design a new porch to be similar in character to those found on comparable buildings.
6. A new porch should use materials similar to those seen historically. Alternative materials for porch decking may be considered when similar to the original.
7. Unless reconstructing a porch from historic documentation, it is not necessary to replicate the details of the original porch or a design copied from a similar style house. It is important that new details be compatible (similar form, scale and materials) for the design of the porch and the style of the house.
8. If a porch has been altered, consider restoring it back to its original design. If the original design of the porch is unknown, base the design of the restoration on other traditional porches on buildings of a similar architectural style.
9. If a porch must be enclosed, do so in a way that maintains an appearance of openness.
  - Use transparent materials (such as glass) and place them behind the balusters and balustrade to preserve the visual character of the porch. Enclosing a porch with opaque materials is discouraged.

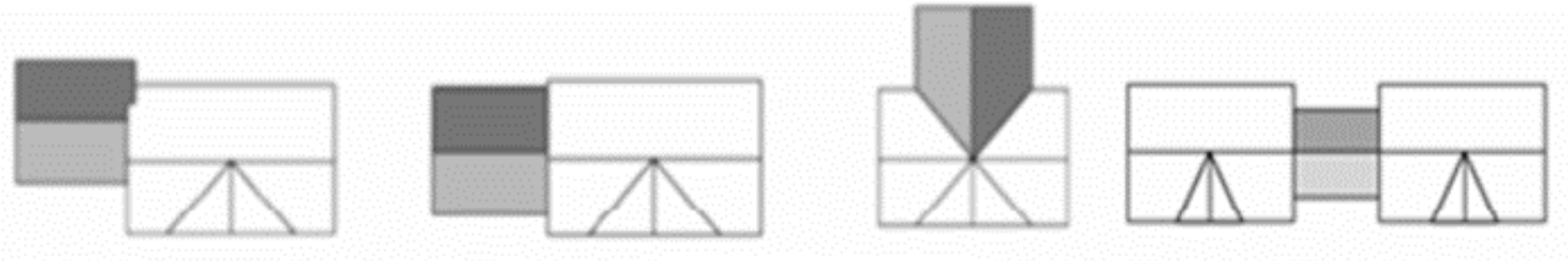


Historic homes turned offices in Eldridge National Historic District

# H6

## Historic 6

# Additions to Historic Residential Buildings



Recommended historic residential addition locations

### LOCATIONS

**INTENT:** Locate additions to minimize the impact to existing buildings.

### GUIDELINES

1. If existing buildings are to be joined by a mutual addition, the distinction between the two original buildings shall be retained.
2. Additions should be set back from the front facades of buildings that are to be joined.



# H6

## Historic 6

# Additions to Historic Residential Buildings

### ARCHITECTURAL CHARACTER

**INTENT:** Augment the architectural character of the original building when designing additions, upper stories, dormers, and other modifications.

### GUIDELINES

1. A new addition should relate to the design, materials, ornamental detail, and follow the roof shapes and slopes of the existing building.
2. Window and door proportions (including the design of sash and frames), floor heights, roof shapes and pitches, and other elements of the addition's exterior shall relate to those of the existing building. Windows shall be of similar type, materials, pane pattern and quality as those in the existing building.
3. Whenever possible, retain existing siding and features of buildings when making improvements and adaptations.
4. A change of materials, colors or textures on different elements is encouraged to provide further articulation and additional variety and character.
5. The primary entrance should face the public street.

### STRUCTURE

**INTENT:** Additions to historic residential buildings should be compatible with the primary structure and not detract from the building's original character.

### GUIDELINES

1. Design an addition to relate to the mass and scale of the original structure.
2. An addition should be simple in design to prevent it from visually competing with the primary facade. For a larger addition, break up the mass of the addition into smaller modules that relate to the historic house. To keep the size of a higher mass as small as possible, use a lower plate height.
3. Place an addition at the rear or side of a building or set it back from the front to minimize visual impacts and allow the original proportions and character to remain prominent.
4. Design a new roof of an addition to be similar to the slope and design details of the original structure.
5. When constructing a rooftop addition, keep the mass and scale subordinate to the primary building.

# H6

## Historic 6

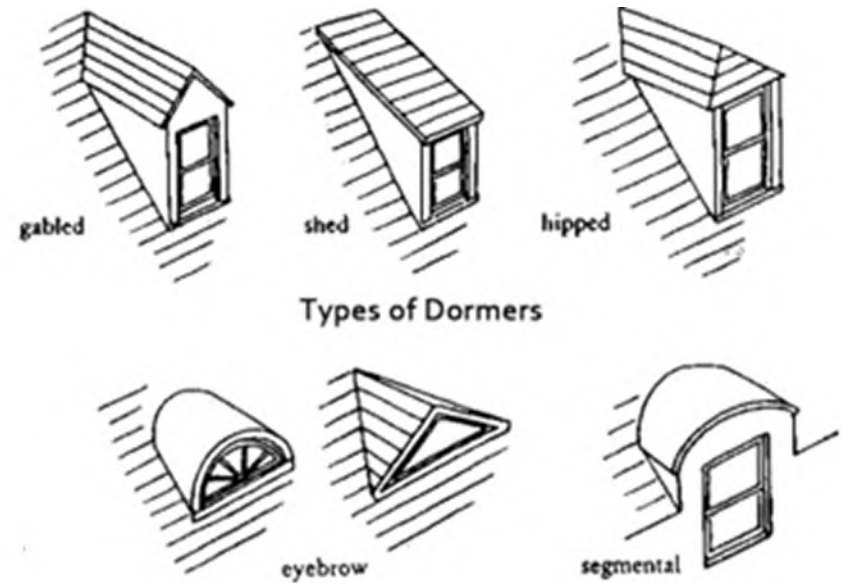
# Additions to Historic Residential Buildings

### DORMERS

**INTENT:** Rooftop dormers are typically added to increase the amount of headroom in an upper floor, adding usable square footage that may improve the use of a building.

### GUIDELINES

1. Traditionally, dormers were designed as visually subordinate elements to the overall roof mass, in scale with the historic structure.
  - Locate the dormer below the ridge line of the primary roof structure.
  - Relate character of the dormer to the primary roof in form, pitch, and materials.
  - The number and size of dormers should not visually overwhelm the scale of the primary structure.



# H6

## Historic 6

# Additions to Historic Residential Buildings

### SITE DESIGN

**INTENT:** Encourage site design and landscaping that is characteristic of, and compatible with, adjacent residential uses.

### GUIDELINES

1. A landscaped front yard and pedestrian walkway shall be maintained between the front of the building and the street. This provision may allow for decks and pavers for outdoor seating and display areas.
2. Landscaping should be integral with the site design and provide privacy for neighbors.
3. Fencing, especially when seen from the street, should be designed to integrate with the architecture of the building and add visual interest in its detail, materials or color.



## 20.25.070 Urban ~~V~~village Design Standards.

A. *Departures from Design Requirements.* The director may approve departures from the urban village design guidelines and standards. All requests for departures shall be identified in the application and reviewed by the design review board following the process in BMC 20.25.030(A)(1)(b) unless the request involves a building on the city, state or national register of historic places, in which case it shall be reviewed by the historic preservation commission following the process in BMC 17.90. A departure may only be allowed if the director determines that the applicant has demonstrated that either:

1. In response to difficult physical circumstances relating to the size, shape, topography, location or surroundings of the subject property, an alternative solution is required that meets the intent of the requirement to the greatest extent practical; or
2. An alternative design will provide an equal or better solution that:
  - a. Meets the intent of the standard;
  - b. Enhances the character and livability of the urban village;
  - c. Enhances the character and environment for pedestrians;
  - d. Enhances or protects the character of the neighborhood or vicinity by protecting natural features, historic sites, open space, or other resources; and
  - e. Will not have any substantial detrimental effect on nearby properties and the city or the neighborhood.

### B. *Specific Standards.*

#### 1. *Site Design.*

##### ~~a. *Orientation to Street.*~~

~~i. *Intent.* Reinforce pedestrian activity, orientation to ground floor activities and enhance the liveliness of the street through building location.~~

~~ii. *Guideline.* Locate the building at sidewalk edge. A larger setback may be considered in order to accommodate a wider sidewalk, public space, or outdoor cafe.~~

~~iii. *Guideline.* Locate the primary entrance at street level facing a public street. The primary entrance should be more articulated and highlighted (size, material, recessed, lighting) than secondary entrances.~~

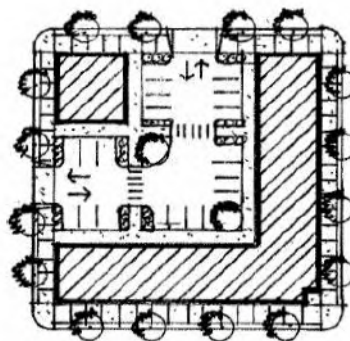
##### ~~ab. *Surface Parking.*~~

Commented [CD1]: Covered by Guidelines S3 and P1

- 
- i. *Intent.* Ensure parking lots are not a dominant element within urban villages and minimize the impact of surface parking on the pedestrian environment.
- ii. *Standard.* Parking shall be located to the rear or side of a building and shall not be located at intersections. (See Figure 20.25.070(A).) [Access should be from an alley or local street where feasible.](#)

Commented [KJ2]: Copied over from .070 Waterfront

Figure 20.25.070(A)



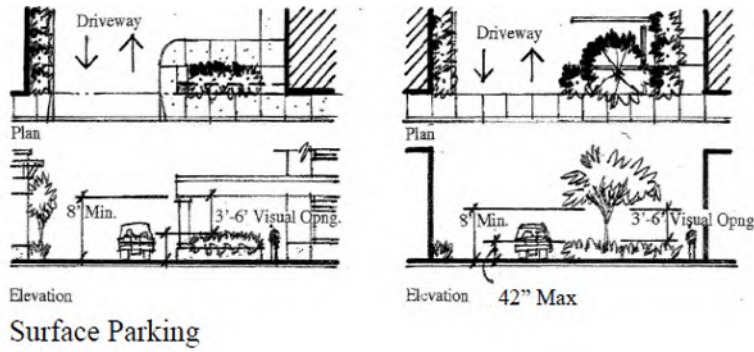
Parking Area Interior to Site

Surface Parking

- iii. Standards.

(A) A wall or evergreen hedge designed to be maintained at a height of at least two and one-half feet and not more than three and one-half feet is required along the street frontage of any street level open parking lot. Open trellis work or similar features that can be seen through may extend above the wall. Street trees with canopies above pedestrian height may be included. ~~Planting beds must be at least five feet wide.~~ (See Figure 20.25.070(B).)

Figure 20.25.070(B)

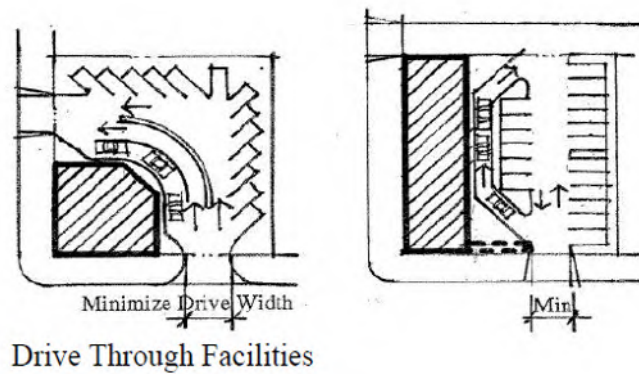


(B) Visually screen parking lots from abutting residential single zones and residential transition areas. Chain link fencing with slats is not an acceptable screen.

c. *Drive-Through Facilities.*

- i. *Intent.* Diminish the impact of automobiles on the pedestrian environment.
- ii. *Standard.* Access and stacking lanes for drive-through services shall not be located between the street and the building or between the building and a residential zone. (See Figure 20.25.070(C).)

20.25.070(C)



d. *Refuse Enclosures.*

i. *Intent.* Reduce the impact and view of trash and recycling storage areas.

~~ii. *Guideline.* Locate refuse storage to the rear of the site and away from major pedestrian walkways.~~

**Commented [KJ3]:** This and (i) above is covered by S3(7).

iii. *Standard.* Refuse containment areas shall be placed in a building or enclosed in a structure that is of similar architectural character of the major structures on the site.

e. *Rooftop Screening.*

i. *Intent.* Mechanical equipment should not detract from the appearance of the building.

~~ii. *Standard.* Screen mechanical equipment by extending the parapet walls or other roof forms that are in way that is integrated with the architecture of the building to a height that equals or exceeds the height of the mechanical equipment and obstructs the visibility of the equipment from the public realm.~~

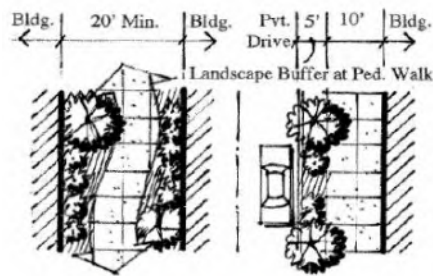
ef. *Pedestrian Connectivity.*

i. *Intent.* Create a network of safe, convenient and attractive off-street linkages for pedestrians.

~~ii. *Guideline.* When a development encompasses a site greater than 350 feet wide or deep, incorporate pedestrian access through the site to connect to alleys, streets or neighboring properties. (See Figure 20.25.070(D)(C).)~~

**Commented [GD4]:** Intent is covered by P(3). This standard is called out in several specific urban villages (with various block sizes).

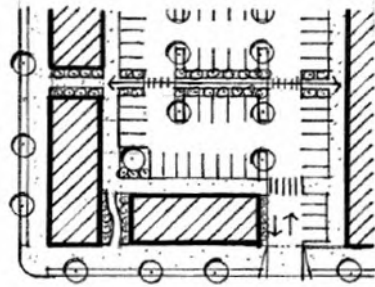
Figure 20.25.070(D)(C) —



Pedestrian Connectivity

~~iii. *Guideline.* Provide walkways connecting access points within the site and from the site to the street. Locate walkways in active areas visible from adjoining spaces. (See Figure 20.25.070(E)(D).)~~

Figure 20.25.070(E)(D)



### Pedestrian Connectivity

ii.v. *Standard.* Pedestrian through-block connections shall not be less than five feet (5') wide and be clearly defined by use of material, elevation (six inches raised) or landscaping borders. The space between two buildings adjoining a through-block walkway shall be a minimum of 20 feet unless a shorter distance-narrower width is approved through design review.

**Commented [CD5]:** Relocated from waterfront design standards 20.25.080

iii.v. *Standard.* Pedestrian access that is separated from vehicle access shall be provided between the building main entry and the public sidewalk. If walkways cross parking lots or driveways, the walkway shall be separated from parking by landscaping or by raised pavement, or when crossing driving lanes, by a change in texture or material.

#### g. Variations on Building Design.

i. *Intent.* To avoid repetition and monotony, create a range of different forms similar to the variety of buildings and styles found in traditional downtowns which evolved over time.

ii. *Guideline.* When a development includes three or more buildings, the buildings within a development should not use identical footprints or elevations. Changes in textures and colors may be appropriate. While there may be some elements that provide a commonality to the entire development, variety shall be visually evident.

**Commented [CD6]:** Covered by Guidelines B1

#### fg. Site Lighting.

i. *Intent.* Provide architectural character, safety and encourage evening activity while minimizing impacts to neighboring properties and the darkness of the night sky.

ii. *Guideline.* Low intensity lighting should be provided for entries, walkways, parking garage entrances, parking lots, alleys and refuse enclosures.



iii. ~~GuidelineStandard.~~ Parking lot lights should ~~be~~ generally be no more than 18 feet in height and lower for pedestrian walkways.

iiiv. ~~GuidelineStandard.~~ Lighting ~~should~~shall be directed away from the sky, dwellings and neighboring development. The use of LED or low energy use fixtures is strongly encouraged.

v. ~~Guideline.~~ Light fixtures should contribute to the overall design of the building and may be used to highlight special architectural features.

g. ~~Fencing.~~ All fencing shall be designed to integrate into the site and/or architecture of the building and add visual interest in its detail, materials or color. Chain link fencing shall specifically not be allowed between commercial and residential areas.

Commented [CD7]: Also addressed by guidelines B1

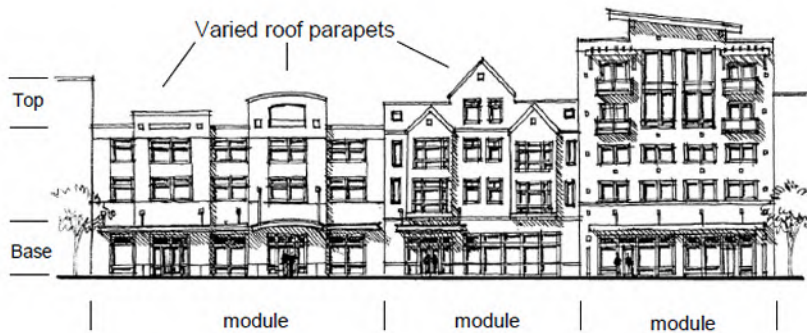
2. Building Design.

~~a. Massing and Articulation.~~

Commented [CD8]: Covered by P4, B1 and individual urban village development regulations

i. ~~Intent.~~ Reduce the apparent mass of large buildings to provide visual interest and pedestrian scale. (See Figure 20.25.070(F), which applies to subsections (B)(2)(a)(ii) through (v) of this section.)

Figure 20.25.070(F)



Massing & Articulation

ii. ~~Guideline.~~ Buildings should convey a visually distinct base and top.

Commented [KJ9]: See B1(6) and (7)

iii. ~~Guideline.~~ Roof parapets and eaves are encouraged to vary in height to avoid long, straight lines at the maximum building heights.

iv. *Guideline.* Buildings with facades longer than 50 feet should be divided into “modules” that are expressed three dimensionally throughout the building facade. Modules could vary in width.

v. *Guideline.* Reduce the apparent mass of buildings facing adjacent public spaces, historic register sites or residential zones by stepping down building height and reducing the area of wall planes.

vi. *Standards.*

(A) The maximum height within 15 feet of any street right-of-way is three stories and 40 feet. The minimum height within 15 feet of any street right-of-way is 18 feet. A maximum of 50 percent of wall length above the third story may encroach five feet into the setback (not including decks). (See Figure 20.25.070(G).)

**Commented [GD10]:** This is consistently given a departure.

20.25.070(G)



Massing & Articulation

(B) Provide at least one setback for every three stories in similar fashion to subsection (B)(2)(a)(vi)(1) of this section on building elevations that front public spaces and historic

~~buildings on the city, state or national historic registers. This provision shall apply regardless of whether the proposed development is built up to, or set back from, the common property line.~~

~~(C) Buildings over 75 feet in height shall incorporate at least one additional setback at or above the fifth floor, and incorporate features that create a visually distinct roof form. The following are examples of such features:~~

~~(1) Terraced setbacks.~~

~~(2) Pitched or curved roof elements.~~

~~(3) Projecting cornice elements.~~

~~(4) Trellises along the parapet.~~

~~(5) Geometric forms.~~

~~(6) Change of material or color on the top floor.~~

(D) Commercial ground floor space shall have a minimum floor to floor height of 12 feet.

~~b. Ground Floor Details.~~

~~i. Intent. Reinforce the character of the streetscape by encouraging the greatest amount of visual interest along the ground level of buildings facing streets.~~

~~ii. Guidelines. Ground floor, street-facing facades of commercial and mixed-use buildings shall incorporate elements such as lighting or hanging baskets, medallions, belt courses, plinths for columns, kick plates, projecting sills, tile work, pedestrian scale signs, planter boxes or other vegetation, or other elements that meet the intent.~~

a. Key Intersections.

i. Intent. Enhance key intersections identified in the urban village design guidelines Appendix A – Urban Village Specific Design Character, Guidelines and Maps.

ii. Standard. Stylistically distinguish building corners at key intersections in a manner that highlights entryways and contributes to the identity of the urban village district. See Figures 20.25.070 (D).

**Commented [CD11]:** Covered by Guidelines P2

**Commented [GD12]:** Moved from Old Town development regulations 20.35.070 4. *Building Corners*

Figure 20.25.070(D) – Building Corners at Key Intersections



**be. Structured Parking.**

i. *Intent.* Reduce the visual impacts of structured parking on public streets, public open spaces and residential zones.

ii. *Guidelines/Standard.* Structured parking levels that are adjacent to a public street or open space or a residential zone shall be screened or treated architecturally by window openings, landscaping designed to screen the facade, decorative meter grills, and/or other approved devices that meet the intent.

**Commented [CD13]:** Also covered by P2 & S3

**d. Building Material.**

i. *Intent.* Create vibrant urban villages through the use of high quality materials.

ii. *Guideline.* Design architectural features that are an integral part of the building and discourage features that appear to be “tacked on” or artificially thin.

iii. *Guideline.* Material selection should exhibit high quality, particularly at street level. Examples include stone, brick, tile, concrete, metal, or transparent glass. Avoid residential lap siding on the ground floor of commercial or mixed-use buildings.

iv. *Guideline.* Encourage the use of recessed windows that create shadow lines.

**ce. Transparency.**

i. *Intent.* Provide a visual link between the business space and non-residential space and the public sidewalk to create visual interest at the pedestrian level.

ii. *Standard.* A minimum of 60 percent of the building wall between two feet and seven feet above the sidewalk and facing a street shall be transparent or lightly tinted glazing. Windows into parking garage space shall not qualify. If windows are not appropriate, glass display cases, decorative art (for example, murals or relief sculpture), significant architectural detailing or wall-covering landscaping may be used. (See Figure 20.25.070(H).)

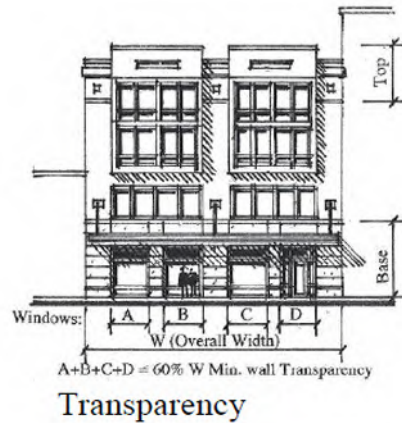


Figure 20.25.070(F)

**df. Weather Protection.**

- i. *Intent.* Provide pedestrians rain protection, integrate individual buildings into the streetscape, and define the pedestrian zone.
- ii. *GuidelineStandard.* Weather protection ~~should~~ shall be located between eight and 12 feet above the walkway but a higher placement may be considered if the width of the protection is increased.
- iii. *Standard.* Where commercial uses are located at ground floor, buildings shall provide pedestrian weather protection covering at least a four-foot width of sidewalk along at least 75 percent of the street level frontage. Minimum adjustments needed to accommodate trees or other overhead objects may be allowed.

*iv. Standard.* Materials shall be limited to metal, glass, Plexiglas or equivalent “hard” durable materials.

**eg. Blank Walls.**

- i. *Intent.* Provide visual interest and avoid the negative impacts of blank walls.
- ii. *Standard.* Blank walls shall be treated to create visual interest. A blank wall is a wall or a portion of wall that is either (A) at least 400 square feet in area with a length and width of at least 10 feet that does not include a window, door, building modulation or other architectural feature or (B) at the ground floor and over six feet in height with a horizontal length greater than 15 feet that does not include a window, pedestrian entry door, building modulation or other architectural feature.

Any blank wall within 50 feet of, and visible from, a public street, public park or trail, residential zone shall be treated with at least one of the following:

- (A) Artwork, such as bas relief sculpture, mural or similar feature.
- (B) A landscaping bed containing trees, shrubs and/or vines on a trellis that will cover at least 60 percent of the wall within three years. Irrigation shall be provided unless the bed is at least five feet in width, open to the sky and drought resistant plants are used.
- (C) Architectural detailing incorporating trims, textures, reveals, contrasting materials, or other special detailing that provides visual interest.
- (D) An alternative method of providing visual interest at the pedestrian level approved through design review.

**Commented [CD16]:** Options for addressing blank walls are also outlined in P1, P2

~~h. Public Open Spaces.~~

~~i. Intent. Buildings adjacent to public open spaces such as public parks, plazas, and trails shall be oriented to promote activity and interaction, and provide visual interest to and from buildings so as to avoid the back-of-building effect.~~

~~ii. Guideline. Locate some ground level features such as entries, windows, decks, patios or similar features on buildings that interface with the public open space.~~

**Commented [CD17]:** Guidelines S3, P1, P3

~~fi. Projections into the Public Right-of-Way.~~

i. *Intent.* Provide adequate separation between private residential spaces, such as balconies, and the public walkway in order to make both the private and public spaces comfortable. Projections should not interfere with street amenities such as street trees, lighting or important public views. ~~Projections shall be integrated into the architecture of the building.~~ (User note: Street encroachments are also regulated by the building code and BMC Title 13.)

ii. *Standards.* No portion of a building may extend into the street right-of-way except:

~~(A) Decks and balconies shall not project more than two feet into the right of way unless they are located on the second floor and a fixed awning covers the entire space directly below the deck or balcony at the ground floor level. A deck or balcony may not in any case project more than four feet into the right of way.~~

**Commented [KJ18]:** This revised language in subsection (A) is what was intended with the original draft. Original draft was not intended to allow decks/balconies all the way up on the 7th floor to encroach 4' just because there was an awning underneath at the ground floor. The original intent was for larger decks on the 3rd floor and above to be recessed partly into the building so not to appear "tacked on." "Some" larger decks could be considered on upper floor by design departure with exceptional design.

(AB) Bay windows and similar architecture features with a horizontal width of not greater than 12 feet ~~that may~~ project no more than four feet into the right-of-way from the face of the exterior wall, provided they are separated from like features by at least an equal width ~~may protrude into the right of way.~~

**Commented [GD19R18]:** Further discussion.

(~~BE~~) Columns, cornices, trellises, eaves and similar minor and/or decorative features; provided, that arcades shall not be located in the street right-of-way.

(~~CD~~) Steps, stoops and similar ground level features, provided there is a minimum 12 feet of horizontal clearance to the street curb edge.

(~~DE~~) Awnings, marquees and signs, subject to compliance with other codes, provided no ground-mounted support structures for these features shall be located in the right-of-way.

~~iii. Standards. Improvements within the public right-of-way, such as landscaping, seating, artwork and other public amenities, may be permitted within urban village areas upon review and approval by the Public Works Director and establishment of a maintenance agreement.~~

gj. *Residential Design.*

i. *Intent.* Residential projects should have an active and direct link to the street pedestrian system while maintaining an appropriate transition from public to private space.

ii. *Standards.*

(A) Buildings containing residential uses shall have at least one covered front residential entryway facing a public right-of-way and accessed directly from the adjoining sidewalk.

(B) Open exterior entry/exit balconies that face a right-of-way are prohibited.

~~(C) Ground floor residential uses shall create privacy and separation between the public and private realm, either through a change in finished floor elevation, landscaping, architectural walls or other screening, or a combination of the above to define public and private space.~~

~~(C) Residential units built within 10 feet measured horizontally of an adjoining right-of-way or public space (property line) shall be constructed so that the finished floor elevation is at least 30 inches above the adjoining sidewalk.~~

~~(D) Ground floor residential units fronting on a street shall have a private main entry to the sidewalk consisting of a stoop or porch. Patio access doors shall not be considered a main entry.~~

~~(E) When private interior courtyards interface the street edge, use a landscape hedge, ornate fencing, architectural walls, or a combination of the above to carry the wall line at the street edge and define the private space. [Ord. 2017-05-014 § 2; Ord. 2009-11-070].~~

Commented [GD20]: Also addressed by Guidelines S2, P1



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## 20.37.520 Downtown district urban village – Uses.

A. Uses are established in Table 20.37.520, below. Land use classifications are listed on the horizontal axis. Downtown district land use areas are shown on the vertical axis.

1. If the symbol “P” appears in the box at the intersection of the column and row, the use is permitted subject to general requirements for the use and the use area.
2. If the symbol “C” appears in the box at the intersection of the column and the row, the use is permitted subject to the conditional use provisions specified in Chapter [20.16](#) BMC, and to general requirements for the use and the use area.
3. If the symbol “N” appears in the box at the intersection of the column and the row, the use is not allowed in that area, except for certain short-term uses (see BMC [20.10.040](#), Temporary uses).
4. If a (number) appears in the box at the intersection of the column and the row, the use may be permitted in the use area subject to the special limitations indicated in the corresponding “Note” at the end of the table.
5. *Use Determination.* In the case of a question as to the inclusion or exclusion of a particular proposed use in a particular use category, the planning and community development director shall have the authority to make the final determination. The director shall make the determination according to the characteristics of the operation of the proposed use as they relate to similar allowed uses within the use area, and the intent of the downtown district subarea plan.

Table 20.37.520 Permitted Uses

<b>P = Permitted C = Conditional Use N = Not allowed (#) = See Notes</b>				
<b>When multiple symbols and notes appear in a box such as P(2) or (4), C, they are interpreted as (P) Permitted (2) when located in a main building(s) on a site existing as of September 23, 2014 OR (4) on corner lots; (C) conditional elsewhere.</b>				
LAND USE CLASSIFICATION	AREA			
	CC (1) CT (1)	RT-1	RT-2	IT
A. Residential				
1. Attached Accessory Dwelling Unit per BMC <a href="#">20.10.036</a>	P	P	P	N
2. Detached Accessory Dwelling Unit per BMC <a href="#">20.10.036</a>	P	P	P	N
3. Short-Term Rentals, per BMC <a href="#">20.10.037</a>	P	P	P(2)	N
4. Boarding and Rooming Houses	P	P	C	P(3)

<b>P = Permitted C = Conditional Use N = Not allowed (#) = See Notes</b>				
<b>When multiple symbols and notes appear in a box such as P(2) or (4), C, they are interpreted as (P) Permitted (2) when located in a main building(s) on a site existing as of September 23, 2014 OR (4) on corner lots; (C) conditional elsewhere.</b>				
<b>LAND USE CLASSIFICATION</b>	<b>AREA</b>			
	<b>CC (1) CT (1)</b>	<b>RT-1</b>	<b>RT-2</b>	<b>IT</b>
5. Co-housing Developments, per BMC <a href="#">20.10.048</a>	P	P	P	P(3)
6. Confidential Shelters, per BMC <a href="#">20.10.047</a>	P	P	P	N
7. Hotel, Motel, and Hostel	P	N	N	P
8. Infill Housing, per Chapter <a href="#">20.28</a> BMC	P	P	P	N
9. Manufactured Home Park	N	N	N	N
10. Multifamily	P	P	P	P(3)
11. Single-Family, Detached Dwelling Unit with less than 5,500 square feet of total floor area	P	P	P	N
12. Single-Family Residence with 5,500 square feet or more total floor area, subject to BMC <a href="#">20.16.020(M)(4)</a>	P	C	C	N
13. Certain interim housing, per Chapter <a href="#">20.15A</a> BMC	P, C	P, C	P, C	P, C
<b>B. Commercial</b>				
1. Adult Entertainment	N	N	N	N
2. Commercial Recreation	P	N	N	P
3. Crematory	N	N	N	C
4. Day Care	P	C	C	N
5. Day Treatment Center	P	C	C	C
6. Drinking Establishment	P	N	N	P
7. Drive-Up Facilities such as bank tellers, food and beverage services, laundry pick up, and car washes	N	N	N	P
8. Eating Establishment	P	P	P(2) or (4), C	P
9. Food Membership Distribution, including Community Supported Agriculture (CSAs) and Food Buying Clubs	P	N	N	P
10. Live/Work Unit	P(5)	P(5)	P(5)	P(5)
11. Motor Vehicles Sales, limited to automobiles, motorcycles, scooters and recreational vehicles	P(6)	N	N	P
12. Offices	P	P	P	P

<b>P = Permitted C = Conditional Use N = Not allowed (#) = See Notes</b>				
<b>When multiple symbols and notes appear in a box such as P(2) or (4), C, they are interpreted as (P) Permitted (2) when located in a main building(s) on a site existing as of September 23, 2014 OR (4) on corner lots; (C) conditional elsewhere.</b>				
<b>LAND USE CLASSIFICATION</b>	<b>AREA</b>			
	<b>CC (1) CT (1)</b>	<b>RT-1</b>	<b>RT-2</b>	<b>IT</b>
13. Repair of small equipment and items such as appliances, electronics, clocks, furniture, hand tools, and watches	P	N	N	P
14. Retail Sales, except as restricted in subsection (B)(11) above	P	P(4)	P(4)	P
15. Services, Personal	P	P	P(2) or (4)	P
16. Service Station and Gas Station	N	N	N	P
<b>C. Health Care</b>				
1. Doctor, Dentist, Medical, and Therapy Office and/or Laboratory	P	P	P	P
2. Medical Care Facility	P	C	C	N
3. Service Care	P	C	C	N
4. Veterinary Service, Animal Hospital and Small Animal Care Shop	P(6)	N	N	P(6)
<b>D. Public and Semi-Public Assembly</b>				
1. Interpretive Center, Library, and Museum	P	N	N	N
2. Art Gallery, Art School, and Commercial Art Studio	P	P	P(2)	N
3. Auditorium, Stadium, and Theater	P	N	N	P
4. Church and House of Worship	P	C	C	C
5. Community Center	P	C	C	N
6. Convention Center	P	N	N	P
7. Institution of Higher Education and School	P	C	C	P
8. Neighborhood Club/Activity Center	P	C	C	P
9. Park, Trail, and Playground	P	P	P	P
10. Passenger Terminal	P	N	N	P
11. Private Club and Lodge	P	C	C	P
<b>E. Industrial</b>				
1. Automobile Services for the washing, lubrication, and minor repair of automotive vehicles	N	N	N	P

<b>P = Permitted C = Conditional Use N = Not allowed (#) = See Notes</b>				
<b>When multiple symbols and notes appear in a box such as P(2) or (4), C, they are interpreted as (P) Permitted (2) when located in a main building(s) on a site existing as of September 23, 2014 OR (4) on corner lots; (C) conditional elsewhere.</b>				
<b>LAND USE CLASSIFICATION</b>	<b>AREA</b>			
	<b>CC (1) CT (1)</b>	<b>RT-1</b>	<b>RT-2</b>	<b>IT</b>
2. Automobile Wrecking	N	N	N	N
3. Commercial Electric Power Generation, per BMC <a href="#">20.36.030(C)</a>	N	N	N	P
4. Construction and storage yards	N	N	N	P
5. Hazardous Waste Treatment and Storage Facility	N	N	N	N
6. Manufacturing and Assembly except as allowed in subsection (E)(7) below	P(6)(7)(8)	N	N	P(7)
7. Manufacture, bottling, and distribution of beverages, including breweries, distilleries, and wineries	P(8)	N	N	P
8. Mini Storage Facility	P(6)(9)	N	N	P
9. Monument and Stone Works	N	N	N	P(7)
10. Repair of large equipment such as vessels, vehicles, and floor-based tools	N	N	N	P
11. Warehousing, Wholesaling, and Freight Operation	N	N	N	P(10)
<b>F. Miscellaneous Uses</b>				
1. Adaptive Use for Historic Register Buildings, per BMC <a href="#">17.90.080</a> and <a href="#">20.16.020(A)(1)</a>	C	C	C	C
2. Community Gardens	P	P	P	P
3. Community Public Facilities, per BMC <a href="#">20.16.020(K)(4)</a>	P	C(11)	C(11)	P
4. Jail and Correctional Facilities, provided the location is limited to those properties bound by Prospect and Flora Streets, Grand Avenue, and Whatcom Creek	P	N	N	N
5. Parking Facility (Nonretail)	P	C(12)	C(12)	P
6. Parking Facility (Retail)	P	N(12)	N(12)	P
7. Public Utilities on private property	P(13)	C	C	P
8. Public Utilities when located within a public right-of-way	P	P	P	P
9. Recreational Vehicle Park	N	N	N	N

<b>P = Permitted C = Conditional Use N = Not allowed (#) = See Notes</b>				
<b>When multiple symbols and notes appear in a box such as P(2) or (4), C, they are interpreted as (P) Permitted (2) when located in a main building(s) on a site existing as of September 23, 2014 OR (4) on corner lots; (C) conditional elsewhere.</b>				
<b>LAND USE CLASSIFICATION</b>	<b>AREA</b>			
	<b>CC (1) CT (1)</b>	<b>RT-1</b>	<b>RT-2</b>	<b>IT</b>
10. Recycling and Refuse Collection and Processing Center, subject to additional standards per BMC <a href="#">20.16.020(L)(2)</a> .	C	N	N	P, C(14)
11. Wireless Communications Facility, per Chapter <a href="#">20.13</a> BMC	P, C	P, C	P, C	P, C
12. Certain temporary homeless shelters, per Chapter <a href="#">20.15</a> BMC	P	P	P	P

## NOTES:

- (1) Ground floor commercial ~~uses are may be~~ required in certain locations as shown in ~~the city center design standards in the Urban Village Design Guidelines contained in~~ BMC 20.25.020 C(3) ~~25.040(C) X~~.
- (2) Permitted when located in a main building(s) on a site existing as of September 23, 2014.
- (3) Permitted when in conjunction with other permitted uses, provided the residential use is located on or above the 2nd floor.
- (4) Permitted on corner lots. The gross floor area of a corner store may not exceed 3,000 square feet unless approved by a conditional use permit. A corner store may not be approved within 600 feet of another corner store.
- (5) The “work” component in live/work is limited to those permitted and conditional uses listed under the applicable zoning subarea in Table 20.37.520.
- (6) When entirely enclosed within a structure.
- (7) The manufacture, compounding, processing, refining, and treatment of significant quantities of the following materials, products or operations is prohibited. For the purpose of this section “significant quantities” consists of a barrel or more at a single time. Acetylene, asphalt and tar, brick, tile, terra cotta, concrete, cement, lime, gypsum, and plaster of Paris, fats, oils and soap, fertilizer, garbage, offal, bones, and the reduction of dead animals, forging or smelting of metal, lampblack, stove and shoe polish, lumber and planing mills, oilcloth and linoleum, paint, shellac, turpentine, lacquer and varnish, paper and pulp, petroleum processing and storage, any explosive or highly inflammable material, slaughtering and processing of meat or fish products, tannery and curing of raw hides, chemicals such as acid, ammonia, bleach, chlorine, dye stuff, glue, gelatin and size, automotive wrecking, or junk yards.
- (8) Permitted when in conjunction with retail sales of the same product on site.
- (9) Permitted when the floor area is less than 50 percent of the floor area of other permitted use(s) on site.
- (10) Excluding the storage and handling of explosives, ammonia, chlorine, and any other similarly dangerous or toxic substances.
- (11) Conditional except for those uses permitted in (D)(9) above.

- (12) Permitted as shared parking pursuant to BMC 20.37.540(D)(2)(e).
- (13) Exclusive of storage yards.
- (14) Conditional for facilities that collect recycling or refuse imported from outside the district.

[Ord. 2020-02-002 § 13; Ord. 2019-09-029 § 9; Ord. 2019-09-028 § 9; Ord. 2018-11-024 § 15; Ord. 2018-10-019 § 13; Ord. 2018-05-009 § 22; Ord. 2014-09-049 § 52 (Exh. F)].

**The Bellingham Municipal Code is current through Ordinance 2021-10-039, passed October 11, 2021.**

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20.37.530 Downtown district urban village – Development regulations.

A. *Applicability.* The regulations of this section shall apply to the development of any principal and/or accessory use within any area in the downtown district except as follows:

1. *Residential Transition Areas.* Development in residential transition areas shall comply with Chapter [20.28](#) BMC, Infill Housing, Chapter [20.30](#) BMC, Residential Single Development, or Chapter [20.32](#) BMC, Residential Multi Development, for corresponding development unless specified otherwise herein. Nonresidential uses shall comply with Chapter [20.32](#) BMC, Residential Multi Development, unless specified otherwise herein.

2. *Industrial Transition Area.* Development in the industrial transition area shall comply with Chapter [20.36](#) BMC, Industrial Development, unless specified otherwise herein.

~~B. *Design Review.* See Chapters [20.25](#) and [21.10](#) BMC for applicable design review areas, standards, guidelines and procedures. Nonresidential uses located in residential transition areas shall be considered “mixed uses” for purposes of applying design review standards and procedures.~~

Table 20.37.530 Standard Development Regulations

Development Regulations	Area				
	Commercial (CC and CT)	Residential (RT-1 and 2)			Industrial (IT)
Applicable Development Regulations	BMC <a href="#">20.37.500</a> through <a href="#">20.37.560</a>	Chapter <a href="#">20.28</a> BMC, Infill Housing	Chapter <a href="#">20.30</a> BMC, Residential Single Development	Chapter <a href="#">20.32</a> BMC, Residential Multi Development	Chapter <a href="#">20.36</a> BMC, Industrial Development
Minimum lot size	None	(1)	None	None	None
Maximum Density	None	RT1: None RT2: 1,500 sq.ft. per unit	RT1: None RT2: 1,500 sq.ft. per unit	RT1: None RT2: 1,500 sq.ft. per unit	None
Setbacks from property lines	None (4)(7)	(1)	(2)	RT-1: None RT-2: (3)	None (7)
Maximum Height	CC: None (4)(7) CT: 65' (4)(5)(6)(7)	(1)	(2)	RT-1: (3) RT-2: 35' under BMC <a href="#">20.08.020</a> , height definition	None (7)



Development Regulations	Area				
	Commercial (CC and CT)	Residential (RT-1 and 2)			Industrial (IT)
				No. 1, or 25' under height definition No. 2	
Lot Coverage	None	(1)	(2)	RT-1: None RT-2: (3)	None
Open Space	None	(1)	(2)	RT-1: (3)(8)(9) RT-2: (3)(8)(9)	None
Usable Space	None	(1)	(2)	RT-1: 100 square feet per unit (10) RT-2: (3)	None

Notes:

- (1) Subject to Chapter [20.28](#) BMC, Infill Housing, for corresponding development.
- (2) Subject to Chapter [20.30](#) BMC, Residential Single Development, for corresponding development.
- (3) Subject to Chapter [20.32](#) BMC, Residential Multi Development, for corresponding development, including development of commercial and conditional uses.
- (4) The maximum height within 15 feet of a property line abutting a residential zone shall be 2 stories and 32 feet.
- (5) Height is measured per height definition No. 1.
- (6) A building may be divided into modules and stepped with height measured on a per module basis to respond to topography on sloped property.
- (7) Additional restrictions may apply as specified in the Shoreline Management Program.
- (8) Open space may be reduced to 10% when development or change of use on a property will include a commercial use, or when the developed residential density on site will exceed one unit per 1,500 square feet of land.
- (9) Open space may alternatively be satisfied by achieving a green area factor (green factor) score of at least 0.3 in accordance with BMC [20.12.030\(E\)](#).
- (10) See BMC [20.32.040\(F\)\(1\)\(b\)](#) and [\(c\)](#) for minimum dimensional requirements.

B. [Design Standards](#). Design review applies as outlined in Chapter [20.25](#) BMC and this subsection. The following design standards are intended to carry out the goals and policies of the Downtown Bellingham Plan and shall be used in addition to the urban village design guidelines, standards, decision criteria, and departure provisions in BMC [20.25.020\(C\)\(3\)](#). Should the provisions of this section conflict with any other provision in BMC [20.25.020\(C\)\(3\)](#), the provisions of this section shall apply.

**Commented [KJ1]:** Amended to be consistent in location, format and language with all other UVs. **Need to do the same for Samish Way UV.**

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[ADD STANDARDS](#)

[Ord. 2014-09-049 § 52 (Exh. F)].

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20.37.320 Fairhaven urban village – Uses.

A. Uses are established in Table 20.37.320. Land use classifications are listed on the horizontal axis. Fairhaven neighborhood urban village land use areas are shown on the vertical axis.

1. If the symbol “P” appears in the box at the intersection of the column and row, the use is permitted subject to general requirements for the use and the use area.
2. If the symbol “C” appears in the box at the intersection of the column and the row, the use is permitted subject to the conditional use provisions specified in Chapter [20.16](#) BMC, and to general requirements for the use and the use area.
3. If the symbol “N” appears in the box at the intersection of the column and the row, the use is not allowed in that area, except for certain short-term uses (see BMC [20.10.040](#), Temporary uses).
4. If a (number) appears in the box at the intersection of the column and the row, the use may be permitted in the use area subject to the special limitations indicated in the corresponding “note” at the end of the table.
5. *Use Determination.* In the case of a question as to the inclusion or exclusion of a particular proposed use in a particular use category, the planning and community development director shall have the authority to make the final determination. The director shall make the determination according to the characteristics of the operation of the proposed use as they relate to similar allowed uses within the use area.

<i>Table 20.37.320 – Permitted Uses</i>		P = Permitted		# = See Notes		C = Conditional Use			N = Not allowed	
LAND USE CLASSIFICATION		AREA								
		CC(2)	RT-1 and RT-2	RT-3	RT-4	I-1(1)	I-2(1)	I-3(1)	P-1 and P-3	P-2
<b>A. Residential</b>										
1.	Attached Accessory Dwelling Unit per BMC <a href="#">20.10.036</a>	P	P	P	P	N	N	N	N	N
2.	Detached Accessory Dwelling Unit per BMC <a href="#">20.10.036</a>	P	P	P	P	N	N	N	N	N
3.	Short-Term Rentals, per BMC <a href="#">20.10.037</a>	P	P	P	P	N	N	N	N	N
4.	Boarding and Rooming Houses	P	C	N	C	N	N	N	N	N
5.	Co-Housing Developments, per BMC <a href="#">20.10.048</a>	P	P	P	P	N	N	N	N	N

<i>Table 20.37.320 – Permitted Uses</i>		<b>P = Permitted</b>	<b>(#) = See Notes</b>	<b>C = Conditional Use</b>					<b>N = Not allowed</b>	
<b>LAND USE CLASSIFICATION</b>		<b>AREA</b>								
		<b>CC(2)</b>	<b>RT-1 and RT-2</b>	<b>RT-3</b>	<b>RT-4</b>	<b>I-1(1)</b>	<b>I-2(1)</b>	<b>I-3(1)</b>	<b>P-1 and P-3</b>	<b>P-2</b>
6.	Confidential Shelters per BMC <a href="#">20.10.047</a>	P	P	P	P	N	N	N	N	N
7.	Duplex	P	P	N	P	N	N	N	N	N
8.	Hotel, Motel, and Hostel	P	N	N	N	N	N	P(3)	N	N
9.	Infill Housing per Chapter <a href="#">20.28</a> BMC	P	P	N	P	N	N	N	N	N
10.	Manufactured Home Park	N	N	N	N	N	N	N	N	N
11.	Multifamily	P	P	N	P	N	N	N	N	N
12.	Night Watchman or Caretaker Quarters	P	N	N	N	P	P	P	P	P
13.	Single-Family, Detached Dwelling Unit with less than 5,500 square feet of total floor area	P	P	P	P	N	N	N	N	N
14.	Single-Family Residence with 5,500 square feet or more total floor area, subject to BMC <a href="#">20.16.020(M)(4)</a>	C	C	C	C	N	N	N	N	N
15.	Certain interim housing, per Chapter <a href="#">20.15A</a> BMC	P, C	P, C	P, C	P, C	P, C	P, C	P, C	P, C	P, C
<b>B. Commercial</b>										
1.	Adult Entertainment	N	N	N	N	N	N	N	N	N
2.	Commercial Recreation	P	N	N	N	N	N	P(1)	N	N
3.	Crematory	N	N	N	N	N	N	C(1)	N	N
4.	Day Care	P	C	C	P	N	N	N	N	N
5.	Day Treatment Center	C	C	C	C	C(1)	C(1)	C(1)	P(4)	P(4)
6.	Drinking Establishment	P(5)	N	N	C(5)	P(1)(5)	P(1)(5)	P(1)(5)	N	N
7.	Drive-Up/Drive-Through Facility including not visible from the right-of-way	N	N	N	N	N	N	N	N	N
8.	Eating Establishment	P	C	N	P	P(1)	P(1)	P(1)	P(4)	P(4)
9.	Live/Work Unit	P(6)	N	N	P(6)	N	N	N	N	N
10.	Motor Vehicles Sales, limited to automobiles, motorcycles, scooters and recreational vehicles	P(7)	N	N	N	N	N	N	N	N

<i>Table 20.37.320 – Permitted Uses</i>		<b>P = Permitted</b>	<b>(#) = See Notes</b>	<b>C = Conditional Use</b>				<b>N = Not allowed</b>		
<b>LAND USE CLASSIFICATION</b>		<b>AREA</b>								
		<b>CC(2)</b>	<b>RT-1 and RT-2</b>	<b>RT-3</b>	<b>RT-4</b>	<b>I-1(1)</b>	<b>I-2(1)</b>	<b>I-3(1)</b>	<b>P-1 and P-3</b>	<b>P-2</b>
11.	Nightclub	P(5)	N	N	N	N	N	P(1)(5)	N	N
12.	Office including child placement agency, post office, and tourism center	P	N	N	P	N	N	P(1) (8)	N	N
13.	Repair of Small Equipment and items such as appliances, electronics, clocks, furniture, hand tools, and watches	P	N	N	N	N	P(1)	P(1)	N	N
14.	Retail Sales, except as restricted in subsection (B)(10) of this table	P	N	N	N	N	N	P(1)	N	N
15.	Services, Personal	P	N	N	P	N	N	P(1)	N	N
16.	Service Station and Gas Station	P(9)	N	N	N	N	N	N	N	N
17.	Water-Related and Dependent Uses, including but not limited to: boat house, boat ramp, boat rental and sales, boat storage, float plane facility, marina, recreation, transient moorage, water-based transportation, web house, and offices and retail supporting the same.	N	N	N	N	P(1)	P(1)	P(1)	N	N
<b>C. Health Care</b>										
1.	Doctor, Dentist, Medical, and Therapy Office and/or Laboratory	P	N	N	P	N	N	P(1)	N	N
2.	Medical Care Facility	P	N	N	C	N	N	N	N	N
3.	Service Care	C	C	N	C	N	N	N	N	P(4)
4.	Veterinary Service, Animal Hospital and Small Animal Care Shop	P(7)	N	N	P(7)	N	N	P(1)(7)	N	N
<b>D. Public and Semi-Public Assembly</b>										
1.	Aquarium, Interpretive Center, Library, and Museum	P	N	N	N	P(1)	P(1)	N	P(4)	P(4)
2.	Art Gallery, Art School, and Commercial Art Studio	P	C	N	P	N	N	N	P(4)	P(4)
3.	Auditorium, Stadium, and Theater	P(5)	N	N	N	N	N	N	P(4)	P(4)
4.	Church and House of Worship	P	C	C	C	C(1)	C(1)	C(1)	N	N

<i>Table 20.37.320 – Permitted Uses</i>		<b>P = Permitted</b>	<b>(#) = See Notes</b>	<b>C = Conditional Use</b>					<b>N = Not allowed</b>	
<b>LAND USE CLASSIFICATION</b>		<b>AREA</b>								
		<b>CC(2)</b>	<b>RT-1 and RT-2</b>	<b>RT-3</b>	<b>RT-4</b>	<b>I-1(1)</b>	<b>I-2(1)</b>	<b>I-3(1)</b>	<b>P-1 and P-3</b>	<b>P-2</b>
5.	Community Center	P	C	C	C	C(1)	C(1)	N	P(4)	P(4)
6.	Convention Center	P	N	N	N	N	N	N	N	N
7.	Institution of Higher Education and School	P	C	C	C	N	N	P(1) (10)	N	N
8.	Neighborhood Club/Activity Center	P	C	C	P	N	N	P(1)	P(4)	P(4)
9.	Park, Trail, and Playground	P	P	P	P	P(1)	P(1)	P(1)	P	P
10.	Passenger Terminal	P	N	N	N	P(1)	P(1)	P(1)	P(4)	P(4)
11.	Private Club and Lodge	P	C	C	C	N	N	P(1)	N	N
12.	Public Building and Use	P	C	C	C	P(1)	P(1)	P(1)	P	P
<b>E. Industrial</b>										
1.	Automobile Repair	N	N	N	N	N	N	P(1)	N	N
2.	Automobile Wrecking	N	N	N	N	N	N	N	N	N
3.	Commercial Electric Power Generation per BMC <a href="#">20.36.030(C)</a>	N	N	N	N	C(1)	C(1)	P(1)	N	N
4.	Hazardous Waste Treatment and Storage Facility per BMC <a href="#">20.16.020(G)(1)</a>	N	N	N	N	N	N	C(1)	N	N
5.	Manufacturing and Assembly	N	N	N	N	P(1)	P(1)	P(1) (11)	N	N
6.	Mini Storage Facility	P	N	N	N	N	N	N	N	N
7.	Monument and Stone Works	N	N	N	N	N	N	C(1)	N	N
8.	Repair of Large Equipment such as vessels, vehicles, and floor-based tools	N	N	N	N	P(1)	P(1)	P(1)	N	N
9.	Warehousing, Wholesaling, and Freight Operation	N	N	N	N	P(1) (12)	P(1) (12)	P(1) (12)	N	N
10.	Water-Related and Dependent Uses, including but not limited to: aquaculture, barge loading facility, boat (ship) building, boat repair, dry dock, net repair, seafood processing, ship cargo terminal, web house, and offices supporting the same	N	N	N	N	P(1)	P(1)	P(1)	N	N

<i>Table 20.37.320 – Permitted Uses</i>		P = Permitted		# = See Notes		C = Conditional Use			N = Not allowed	
LAND USE CLASSIFICATION		AREA								
		CC(2)	RT-1 and RT-2	RT-3	RT-4	I-1(1)	I-2(1)	I-3(1)	P-1 and P-3	P-2
<b>F. Miscellaneous Uses</b>										
1.	Adaptive Use for Historic Register Buildings per BMC <a href="#">17.90.080</a> and <a href="#">20.16.020(A)(1)</a>	C	C	C	C	C(1)	C(1)	C(1)	C	C
2.	Community Gardens	P	P	P	P	P(1)	P(1)	P(1)	P	P
3.	Community Public Facilities per BMC <a href="#">20.16.020(K)(4)</a>	P	C(13)	C(13)	C(13)	P	P	P	P	P
4.	Parking Facility (Nonretail)	P	N	N	N	P(1)	P(1)	P(1)	P(4)	P(4)
5.	Parking Facility (Retail)	P	N	N	N	P(1)	P(1)	P(1)	N	P(4)
6.	Public Utilities on private property	P(5)	C	C	C	P(1)	P(1)	P(1)	P(4)	P(4)
7.	Public Utilities when located within a public right-of-way	P	P	P	P	P(1)	P(1)	P(1)	P	P
8.	Recreational Vehicle Park	N	N	N	N	N	N	N	N	N
9.	Recycling and Refuse Collection and Processing Center, subject to additional standards per BMC <a href="#">20.16.020(L)(2)</a> .	C	N	N	N	N	P, C(15)	P, C(15)	P, C(4)(15)	P, C(4)(15)
10.	Wireless Communications Facility per Chapter <a href="#">20.13</a> BMC	P, C	P, C	P, C	P, C	P, C	P, C	P, C	(14)	(14)
11.	Certain temporary homeless shelters, per Chapter <a href="#">20.15</a> BMC	P	P	P	P	P	P	P	P	P

**NOTES:**

(1)	Specific uses may be restricted per the shoreline master program.
(2)	Ground floor commercial <del>uses may be</del> required in certain locations as shown in <del>Chapter 3, Section (B)(2)(b) of the Fairhaven design standards contained in Chapter 20.25 BMC, the Urban Village Design Guidelines contained in BMC 20.25.020 C(3).</del>
(3)	Permitted only when located south of Harris Avenue.
(4)	These uses, when established by a private (not public) entity, require a conditional use permit.
(5)	Regulated by BMC <a href="#">10.24.120</a> .
(6)	The “work” component in live/work is limited to those permitted and conditional uses listed under the applicable zoning subarea in Table 20.37.320.
(7)	When entirely enclosed within a structure.
(8)	Including construction businesses (such as construction offices and storage yards).

<i>Table 20.37.320 – Permitted Uses</i>		P = Permitted	(#) = See Notes	C = Conditional Use				N = Not allowed	
LAND USE CLASSIFICATION		AREA							
		CC(2)	RT-1 and RT-2	RT-3	RT-4	I-1(1)	I-2(1)	I-3(1)	P-1 and P-3
(9)	May only be located on those properties where they currently exist south of Larrabee Avenue as of August 28, 2012.								
(10)	Institutions of higher education and art schools are permitted. All other schools are conditional, per Chapter <a href="#">20.16</a> BMC.								
(11)	The manufacture, compounding, processing, refining, and treatment of significant quantities of the following materials, products or operations is prohibited. For the purpose of this section, “significant quantities” consist of a barrel or more at a single time. Acetylene, distillation of alcohol, asphalt and tar, brick, tile, terra cotta, concrete, cement, lime, gypsum, and plaster of Paris, fats, oils and soap, fertilizer, garbage, offal, bones, and the reduction of dead animals, forging or smelting of metal, lampblack, stove and shoe polish, lumber and planing mills, oilcloth and linoleum, paint, shellac, turpentine, lacquer and varnish, paper and pulp, petroleum processing and storage, any explosive or highly inflammable material, slaughtering and processing of meat or fish products, tannery and curing of raw hides, chemicals such as acid, ammonia, bleach, chlorine, dye stuff, glue, gelatin and size, automotive wrecking, or junk yards.								
(12)	Excluding the storage and handling of explosives, ammonia, chlorine, and any other similarly dangerous or toxic substances.								
(13)	Conditional except for those uses permitted in subsection (D)(9) of this table.								
(14)	Wireless communication facilities may only be allowed as an accessory use or conditional use under the provisions of Chapter <a href="#">20.13</a> BMC pertaining to the location of these facilities in public zones.								
(15)	Conditional for facilities that collect recycling or refuse from outside the district.								

[Ord. 2020-02-002 § 11; Ord. 2019-09-029 § 7; Ord. 2019-09-028 § 8; Ord. 2018-11-024 § 13; Ord. 2018-10-019 § 11; Ord. 2018-05-009 § 21; Ord. 2012-08-041 § 13 (Exh. G)].

**The Bellingham Municipal Code is current through Ordinance 2021-10-039, passed October 11, 2021.**

Disclaimer: Users should contact the Deputy City Clerk for ordinances passed subsequent to the ordinance cited above.

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20.37.330 Fairhaven urban village – Development regulations.

A. *Applicability.* The regulations of this section shall apply to the development of any principal and/or accessory use within any area in the Fairhaven urban village except as follows:

1. *Residential Transition Areas 1, 2 and 4.* Development in RT-1, 2 and 4 shall comply with Chapter [20.28](#) BMC, Infill Housing, Chapter [20.30](#) BMC, Residential Single Development, or Chapter [20.32](#) BMC, Residential Multi Development, unless specified otherwise herein.
2. *Residential Transition Area 3.* Development in RT-3 shall comply with Chapter [20.30](#) BMC, Residential Single Development, unless specified otherwise herein. It shall additionally comply with Chapter [20.28](#) BMC for the following infill housing forms:
  - a. BMC 20.28.090, Carriage house.
  - b. BMC 20.28.100, Detached accessory dwelling unit.
3. *Industrial Areas.* Development in any industrial zoned area shall comply with Chapter [20.36](#) BMC, Industrial Development, unless specified otherwise herein.
4. *Public Areas.* Development in any public zoned area shall comply with Chapter [20.42](#) BMC, Public Development, unless specified otherwise herein.

B. ~~[Repeal] Design Review. See Chapters~~ **Error! Hyperlink reference not valid.** ~~and~~ **Error! Hyperlink reference not valid.** ~~BMC for applicable urban village design review areas, standards, guidelines and procedures. See Section X below for standards specific to Fairhaven.~~

Table 20.37.330 Standard Development Regulations

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Development Regulations	Area							
	Commercial	Residential					Industrial	Public
	CC	RT-1, 2 and 4			RT-3		I-1, 2 and 3	P-1, 2 and 3
Applicable Development Regulations	BMC <a href="#">20.37.300</a> through <a href="#">20.37.370</a>	Chapter <a href="#">20.28</a> BMC, Infill Housing	Chapter <a href="#">20.30</a> BMC, Residential Single Development	Chapter <a href="#">20.32</a> BMC, Residential Multi Development	Chapter <a href="#">20.28</a> BMC, Infill Housing	Chapter <a href="#">20.30</a> BMC, Residential Single Development	Chapter <a href="#">20.36</a> BMC, Industrial Development	Chapter <a href="#">20.42</a> BMC, Public Development
Minimum Lot Size	None	(1)	5,000 sq. ft.	5,000 sq. ft.	(1)	5,000 sq. ft.	None	None
Maximum Density	None	2,000 sq. ft./unit for RT-1 and 2. 1,500 sq. ft./unit for RT-4. (1)	5,000 sq. ft./unit	2,000 sq. ft./unit for RT-1 and 2. 1,500 sq. ft./unit for RT-4.	5,000 sq. ft./unit	5,000 sq. ft./unit	None	N/A
Setbacks from Property Lines	None	(1)	(2)	(3)	(1)	(2)	25 ft. from any property line abutting or across a right-of-way from land zoned residential or public (4). 10 ft. from front and side-flanking street (4).	20 ft. from any property line abutting land zoned residential.

Development Regulations	Area							
	Commercial	Residential				Industrial	Public	
	CC	RT-1, 2 and 4			RT-3		I-1, 2 and 3	P-1, 2 and 3
Maximum Height	Height limits are as shown on Figure 20.37.330(A). (5)(6)(8)	(1)	(2)	35' for RT-4.(3)	(1)	(2)	I-1 and I-2: None for industrial uses. 66 ft. for all other uses (5)(6)(8). I-3: 5 stories and 56 ft. (5)(6)(7)(8).	None (8)

Notes:

(1) Subject to Chapter [20.28](#) BMC, Infill Housing.

(2) Subject to Chapter [20.30](#) BMC, Residential Single Development.

(3) Subject to Chapter [20.32](#) BMC, Residential Multi Development.

(4) See subsection [\(C\)\(2\)](#) of this section for optional setbacks regulations.

(5) Height is measured per height definition No. 1. A building may be divided into modules and stepped with height measured on a per module basis to respond to topography on sloped property.

(6) See subsection [\(C\)\(1\)](#) of this section and Figure 20.37.330(C) for additional height restrictions.

(7) Height limits do not apply to temporary construction equipment or permanent fabrication equipment used in the normal course of business for industrial uses.

(8) Additional height restrictions may apply as specified in the Shoreline Management Program.

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C. *Special Development Regulations.*

1. *Height in Commercial and Industrial Areas.*

a. Non-industrial development over five stories in height shall incorporate a 15-foot step back above the fourth floor as measured from the abutting street right-of-way and shown in Figure 20.37.330(B). A maximum of 50 percent of wall length above the fourth story may encroach five feet into an upper story setback to accommodate bay windows and similar architectural features.

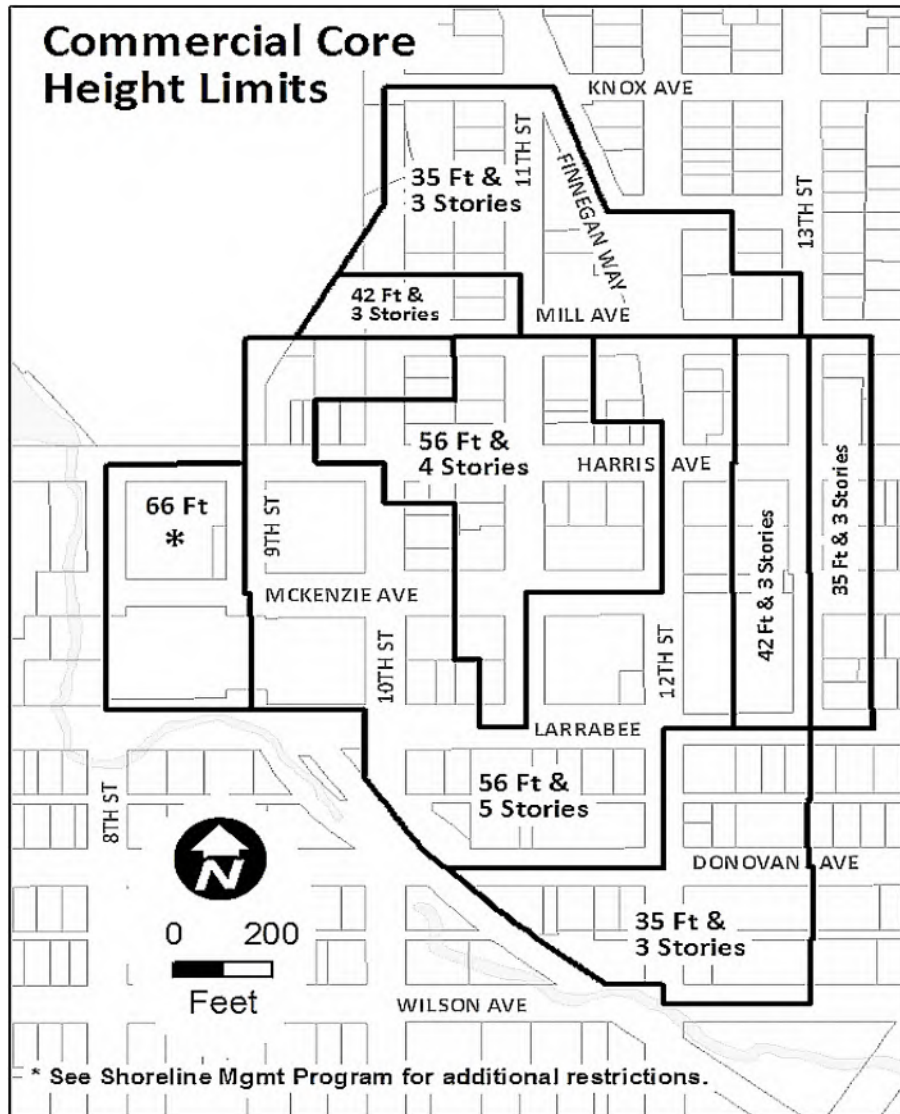


Figure 20.37.330(A) Maximum Allowed Heights within the Commercial Core

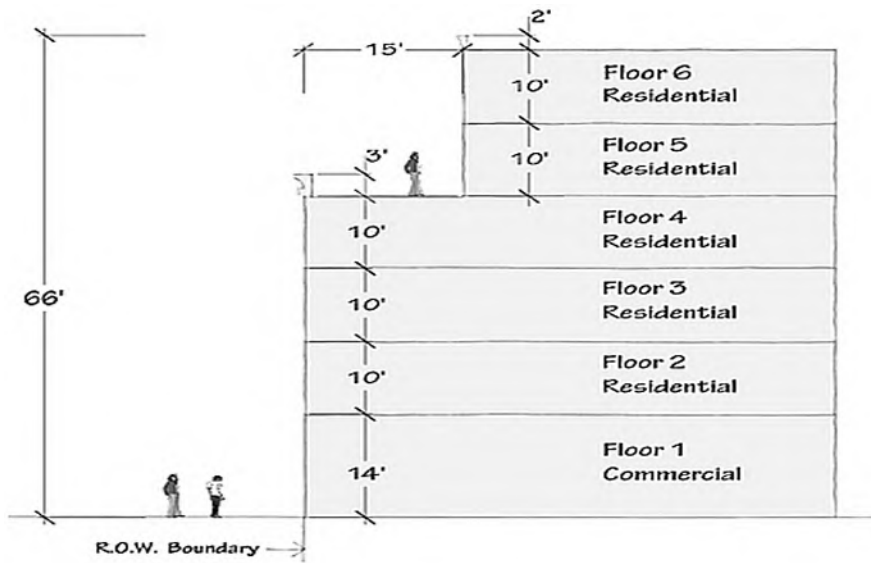


Figure 20.37.330(B) Building Step-Back Required. Floor-to-floor heights are shown for illustrative purposes only to provide context on how the maximum allowed building height may be achieved

- b. *Height Restricted Areas.* Height is further limited in view corridors and adjacent to residential zoned areas as shown on Figure 20.37.330(C) and outlined below:
  - i. Encroachment into view corridors by architectural features such as bay windows, and rooftop objects such as spires, towers, domes, steeples, mechanical equipment, elevator and stair shafts, smokestacks and ventilators is prohibited.
  - ii. The maximum height within 15 feet of a property line abutting a residential single zone or a residential transition area shall be one story and 18 feet.

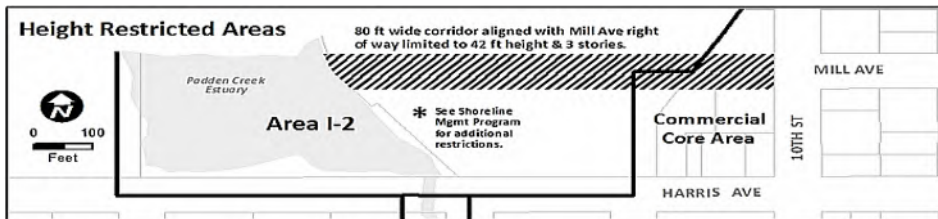


Figure 20.37.330(C) Height restricted areas within views to geographic features of significance

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2. *Optional Setback Regulations in Industrial Areas.*

- a. The planning and community development director may eliminate or reduce the front and flanking side yard setbacks if all of the following criteria can be met for the wall length within the yard being reduced:
- i. Zoning directly across an improved street right-of-way is commercial or public.
  - ii. At least 35 percent of the building wall area on the ground floor contains transparent windows between a height of two feet and seven feet facing the street. The 35 percent transparent window calculation only applies to the section of building within the reduced yard.
  - iii. A customer-oriented pedestrian entry faces, and is accessible from, the street.
  - iv. All parking facilities are located to the side or rear of the main building.
  - v. The proposed use is retail, eating or drinking establishment, personal or business services, amusement and recreation, professional offices, the office component of an industrial use, educational facilities, or similar uses as determined by the planning and community development director.
- b. The planning and community development director may eliminate or reduce the side and rear yard setback to 10 feet if all of the following criteria can be met:
- i. Abutting zoning is public; and
  - ii. The proposed use is retail, eating or drinking establishment, personal or business services, amusement and recreation, professional offices, the office component of an industrial use, educational facilities or other similar uses as determined by the planning and community development director.

3. Residential Transition Area 4 (RT-4). The following regulations shall be used when converting an existing residential building(s) to a nonresidential use(s), or when a site will be redeveloped with a nonresidential use(s). They are intended to provide incentives for reuse of existing single-family residential buildings, and to maintain the small-scale character of the general vicinity when new development occurs.

- a. *Maximum Use Size.* Individual nonresidential use(s) on a site shall not exceed the floor area of:
- i. Any building(s) on site existing as of August 28, 2012, and originally built for residential use, or
  - ii. Two thousand five hundred square feet of gross floor area per nonresidential use for new ground floor development. There is no floor area limit on upper floors.
-

An addition in floor area to buildings in subsection (C)(3)(a)(i) of this section may be approved by the planning and community development director when existing buildings are to be joined by a mutual addition.

b. *Open Space.* A minimum of 10 percent of the total site area shall be left as an open space when a property is developed with nonresidential uses. [Ord. 2012-08-041 § 13 (Exh. G)].

D. *Design Standards Specific to Fairhaven.* Design review applies as outlined in Chapter 20.25 BMC and this subsection. The following design standards are intended to carry out the goals and policies of the Fairhaven District Subarea Plan and shall be used in addition to the urban village design guidelines, standards, decision criteria, and departure provisions in BMC 20.25.020(C)(3). Should the provisions of this section conflict with any other provision in BMC 20.25.020(C)(3), the provisions of this section shall apply.

**Commented [KJ1]:** Moved and amended to be consistent in location, format and language with all other UVs.

## New Construction

### 1. Site Plan Design

#### a. Building Orientation

1) Intent: Maintain the traditional orientation of the primary entrance toward the street. Avoid the “back of building effect” on public open spaces. Provide visual interest and promote activity and interaction to and from the building.

a) Standard: A commercial building on a through-lot property (one that fronts more than street) shall have an entry on both streets.

#### b. Ground Floor Details / Street-level Interest

1) Intent: Buildings in, abutting, and across the right-of-way from the HD DRA contribute to a pedestrian-friendly street edge by maintaining strong alignment and traditional uninterrupted character of the commercial “building wall” edge.

a) Standard: In, abutting, and across the right-of-way from the HD DRA, courtyards, dining areas and plazas are encouraged. However, to maintain the continuity of the commercial street wall, no more than 25% of a building front shall be set back from the sidewalk edge.

2) Intent: For industrial developments in the II and MI DRAs buildings and/or landscaping create a pedestrian-friendly street edge.

a) Standard: For industrial developments in the II and MI DRAs, provide pedestrian-scale interest at the street face or other public right-of-way by incorporating at least two elements from the following list:

i. Create a “green wall” on at least 50% of street-facing facades (a green wall is one that is partially or completely covered with vegetation and, in some cases, soil or an inorganic growing medium);

ii. Provide some type of public art such as sculpture, a mural, etc.;

iii. Modulate the building face every 50’;

**Commented [GD2]:** The following standards were moved here from the Fairhaven Design Standards document.



iv. Use darker hues on street-facing facades to visually diminish size and mass;

v. Provide at least 25% glazing along the street face to allow views to interior activity;

vi. Provide canopies or awnings that extend into the pedestrian realm; or

vii. Other element that meets the intent of the standard.

c. Pedestrian Connectivity

1. Intent: Promote pedestrian activity by providing inviting and safe mid-block walkways.

a) Standard: When a development encompasses a site of 200' x 200' or larger, provide pedestrian walkways through the property to adjacent alleys, public sidewalks, streets, trails and/or other pedestrian walkways. A walkway shall be open to the sky and no less than 15' wide.

b) Standard: In the II and MI DRAs, provide pedestrian connections from the street to the ferry, boat launch, and other public areas along the waterfront.

Commented [GD3]: UVDR standards require 20-feet

2. Building Design

a. Traditional Commercial Façade Architectural Character

1. Intent: New buildings in, abutting, or across the right-of-way from the HD DRA should reflect – but not imitate -- the traditional character, height, and proportion of Fairhaven's historic commercial buildings.

a. Standard: The minimum height for new development in the Commercial Core is two stories.

b. Standard: On a building exterior, floor-to-floor heights and windows shall appear similar to those of traditional commercial Fairhaven buildings. Floor-to-floor height minimums are outlined in Table 3.1. Exception: Floor-to-floor height minimums are not required in areas that have a 35' height limit.

	<b>In, abutting, and across the right-of-way from Historic District DRA</b>	<b>All other DRA's</b>
<b>First Floor Retail</b>	Minimum 14' floor-to-floor	Min 12' floor-to-floor
<b>Upper Story Office</b>	Minimum 12' floor-to-floor	
<b>Upper Story Residential</b>	Minimum 10' floor-to-floor (12' is encouraged for flexibility of use)	
<b>Parapet</b>	2'- 4' (taller parapet is encouraged to allow for rooftop use, green roofs, solar installations, etc.)	

*c. Standard:* In, abutting, and across the right-of-way from the HD DRA, street level transparency shall extend a minimum of 10' to the top the window or door header. This height minimum may include a transom window.

2) *Intent:* Provide a visual link between commercial space and the sidewalk to create visual interest at the pedestrian level.

*a) Standard:* In, abutting, and across the right-of-way from the HD DRA, a minimum of 70% of the commercial building wall between 2' and 8' above the sidewalk and facing a street shall be transparent. In all other DRAs, a minimum of 60% transparency is required. Windows into parking garage space shall not qualify. If windows are not feasible, glass display cases, decorative art (for example, murals or relief sculpture), significant architectural detailing or wall-covering landscaping may be used.

*b) Standard:* In, abutting, and across the right-of-way from the HD DRA, storefront components and upper story windows shall relate to the height and proportion of traditional commercial buildings.

3) *Intent:* In the HD and HI DRAs, maintain a distinction between the street level and the upper floors.

*a) Standard:* The first floor of the primary facade shall be predominantly transparent glass. Highly reflective or darkly tinted glass shall not be used.

*b) Standard:* Distinction in floor heights shall be made between the street level and upper levels by using detailing, a belt course, or differing materials and fenestration.

4) *Intent:* The repetition of evenly spaced, vertically-oriented and similarly-sized upper story windows creates a pattern along the street, and gives a building a sense of human scale.

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a) Standard: New buildings in, abutting, and across the right-of-way from the HD DRA shall maintain the traditional spacing patterns and proportions of upper story windows in historic commercial buildings, which are typically at least twice as tall as they are wide.

b) Standard: New buildings in, abutting, and across the public right-of-way from the HD DRA shall be designed with windows that are set back from the exterior building wall to create relief, and prevent “flat-faced” two-dimensional walls.

b. Massing and Articulation

1. Intent: In the HD and HI DRAs, reflect the underlying lot pattern and break up building mass in the articulation of building facades. Buildings should not be monolithic in scale or greatly contrast with those seen traditionally in Fairhaven.

a) Standard: Building massing shall vary along the street for any individual building that exceeds more than a ½ block width or 100’ of a block face, whichever is less.

2. Intent: Traditionally, commercial building facades were composed of three basic elements – a base, middle and cap.

a) Standard: New multi-story commercial buildings in, abutting, and across the right-of-way from the HD DRA shall be composed of a base, middle, and cap.

3. Intent: Roof forms should relate to the context of surrounding buildings.

a) Standard: In, abutting, and across the right-of-way from the HD DRA, roofs shall be of the traditional flat, commercial building type. In all other DRAs, a mix of roof forms is permitted.

4. Intent: For new buildings in the II and MI DRAs, simple forms are appropriate, as are those with varied massing.

a) Standard: A variety of building forms, masses, and character are permitted in the II and MI DRAs.

5. Intent: The scale of buildings that abut a residential zone should conform to the scale established in the neighborhood. Blank walls should not loom over on nearby residences.

a) Standard: Building walls within 15’ of a property line abutting a residentially zoned area shall either be of common sized red brick masonry or include a repeating pattern with no less than two of the elements listed below. At least one of the elements shall repeat horizontally. All elements shall repeat at intervals of not more than 30’, either horizontally or vertically.

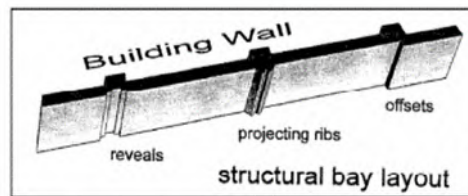
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i. Permanent color change;

ii. Texture change;

iii. Material change;

iv. Architectural or structural bays with a change in plane no less than 12" in width, such as an offset, reveal or projecting rib (see Illustration 3.4).



**Illustration 3.4.** Example of how a change in plane might be created.

#### c. Building Materials

1. Intent: Building materials contribute to the visual continuity of the area and should appear similar to those traditionally used in Fairhaven—primarily brick, wood, and stone.

a) Standard: Building materials in, abutting, and across the right-of-way from the HD DRA shall be primarily brick or stone. Stucco, wood and metal should be used in subordinate proportion to masonry. Brick and simulated (formed concrete) stone or wood should be of similar modular dimension to that of historic buildings.

Commented [GD4]: Wood added

b) Standard: Imitation or synthetic cladding materials such as aluminum, vinyl, and plastic siding are prohibited for new construction in, abutting, or across the right-of-way from the HD DRA.

c) Standard: Mirrored glass shall not be used.

#### d. Awnings and Canopies

1. Intent: Awnings promote sidewalk activity and protect pedestrians from the weather. Both operable and fixed metal type awnings are appropriate, but regardless of type, an awning's design should relate to the building's architecture.

a) Standard: In, abutting, and across the right-of-way from the HD DRA, oddly shaped, bullnose, curved, and bubble awnings are not permitted. Simple shed-shaped awnings are appropriate for most rectangular openings.

b) Standard: In, abutting, and across the right-of-way from the HD DRA, awning materials shall be limited to metal or fabric.

c) Standard: Glass, plexiglass, or equivalent durable material may be used in those areas of the II, and MI DRAs, and those areas of the HI DRA not abutting or across the right-of-way from the HD DRA.

d) Standard: Non-opaque awning material illuminated in such a way as to cause the awning to glow is not permitted.

**Commented [FK5]:** These all would apply to historic guidelines as well

e. Site Lighting

1. Intent: Provide site lighting to increase safety, while shielding fixtures to minimize light spill onto nearby properties.

a) Standard: Light fixtures shall incorporate cut-off shields to direct light downward and prevent off-site glare.

b) Standard: Provide lighting at a scale that is appropriate for pedestrians.

**Commented [GD6]:** Down-shielding required in the UV standards. Pedestrian-scale lighting covered by Guidelines P1-P3

a) Standard: The design of light fixtures shall be in character with the setting and shall reference architectural and site design elements.

b) Standard: Design lighting to minimize light spill-off to no more than 1.5 footcandles at the property line unless the lighting falls on a sidewalk or other public area.

c) Standard: Gas and service station canopies: Lighting shall be recessed (including lenses) within the bottom of the gasoline pump island canopy(s). Lights that project below the canopy ceiling are prohibited.

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20.37.230 Fountain district urban village – Development.

A. *Applicability.* The regulations of this section shall apply to the development of any principal and/or accessory use within any area in the fountain district urban village except as follows: Development in residential transition areas shall comply with Chapter 20.28 BMC, Infill Housing, or Chapter 20.30 BMC, Residential Single Development, and with Table 20.37.230.

Table 20.37.230 Development Standards

Development Standards	Area			
	Commercial Core	Commercial Transition	Residential Transition	
			Chapter 20.28 BMC, Infill Housing	Chapter 20.30 BMC, Residential Single Development
Minimum Lot Size	None	None	(1)	5,000 SF
Maximum Density	None	None	2,500 SF per unit	5,000 SF per unit
Setbacks from Property Lines	None (3)	None (1), (2), (3)	(1)	(2)
Maximum Height	45 feet (4), (5)	35 feet (4)	(1)	(2)
Maximum Floor Area Ratio (FAR)	2.5 FAR	CT 1: 1.5 FAR CT 2: 0.6 FAR	(1)	N/A

Notes:

- 1 Subject to Chapter 20.28 BMC, Infill Housing, for corresponding development.
- 2 Subject to Chapter 20.30 BMC, Residential Single Development, for corresponding development.
- 3 See subsection (B)(2) of this section for setback and height adjacent to residential zones and areas.
- 4 Height is measured per height definition No. 1 as per BMC 20.08.020.
- 5 See Figure 20.37.210 for commercial core “opportunity site.” Maximum height shall be 55 feet.

B. *Design Standards.* Design review applies as outlined in Chapter 20.25 BMC and this subsection. The following design standards are intended to carry out the goals and policies of the fountain district subarea plan, and shall be used in addition to the urban village design ~~district guidelines, standards, guidelines and~~ decision criteria, ~~and departure provisions outlined~~ in BMC ~~20.25.020(D)(3)(b) 20.25.020(C)(3)~~. Should the provisions of this section conflict with any other provision in BMC ~~20.25.020(D)(3)(b) 20.25.020(C)(3)~~, the provisions of this section shall apply.

- 1. *Commercial Street Frontage.*

**Commented [KJ1]:** Amended to be consistent in location, format and language with all other UVs. **Need to do the same for Samish Way UV.**

a. *Intent.* Street front uses, along Meridian Street as described in subsection (B)(1)(b) of this section, are compatible with intensive commercial activity and provide opportunities for visual or interactive links between businesses and pedestrians.

b. *Standard.* Along Meridian Street between Broadway Avenue and W. Illinois Street, ground floor commercial space (including retail, service, office, government, or similar nonresidential uses) shall be provided along the full building street front for a depth of at least 20 feet measured from the front face of the building. Lobbies for residential uses and hotels and parking garage entries shall qualify as ground floor commercial; however, hotel/motel guest rooms, dwelling units and structured parking shall not qualify.

2. *Massing and Articulation.*

a. *Intent.* Provide appropriate transitions between commercial and residential areas. The scale of those portions of a building facing an existing developed neighborhood should conform to the scale established in the neighborhood or the scale identified for the district.

b. *Standards.* Minimum setbacks and maximum height limits within 25 feet of a property line abutting or across an alley from a residential single zone or a residential transition area shall be as shown in Figure 20.37.230(A) or (B).

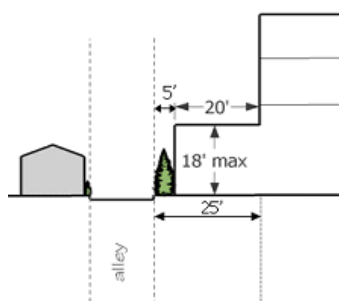


Figure 20.37.230(A)

OR

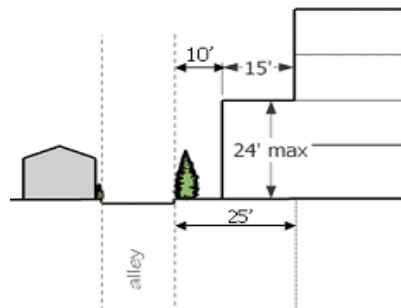


Figure 20.37.230(B)

~~3. Consolidate Curb Cuts.~~

~~a. *Intent.* Provide a safe and attractive pedestrian experience, while increasing the inventory of public street parking.~~

~~b. *Guideline.* Curb cuts on streets should be consolidated whenever possible.~~

Commented [CD2]: Moved to Fountain appendix

34. *Parking.*

a. *Intent.* Encourage compatible design by preventing garages from being built on the front of residential homes.

b. *Guideline/Standard.* For new residential construction when an alley exists, parking shall be accessed via the alley except when the director determines that alley access is impractical or environmentally constrained.

4§. *Additions and Modifications to Existing Single-Family Building Forms.*

a. *Applicability.* The following provisions apply to additions and modifications to existing structures originally built for single-family residential use. The specific design standards in BMC [20.25.070\(B\)](#) do not apply.

b. *Site Design.*

i. *Intent.* Encourage architecturally compatible additions and modifications to existing buildings in both the commercial core and commercial transition areas.

~~ii. *Guideline.* On Meridian Street, additions designed for the front of existing buildings are encouraged to set back a minimum of two feet from the front property line to allow for a wider sidewalk and the planting of street trees.~~

~~iii. *Guideline.* For commercial uses, landscaping should be integral with the site design and provide privacy for neighbors.~~

~~iv. *Guideline.* Fencing, especially when seen from the street, should be designed to integrate with the architecture of the building and add visual interest in its detail, materials or color.~~

v. *Standard.* Parking shall be located to the rear or side of the building and shall not be located at intersections.

c. *Building Design.*

i. *Location of Additions.*

(A) *Intent.* Minimize the impacts of additions and modifications to existing buildings.

(B) *Guideline.* If two existing buildings are to be joined by a mutual addition, when possible, the distinction between the two original buildings should be retained.

(C) *Standard.* Additions to the front of the building are prohibited in the commercial transition area if the existing building is residential in form. Additions should be located to the side or rear of the property following the principles in Figure 20.37.230(C).

Figure 20.37.230(C)

**Commented [CD3]:** Move to appendix, except for the standard under 5.c(i)(C)

**Commented [GD4]:** Moved to Fountain appendix





Four examples showing appropriate methods of locating an addition on a building to the side and rear. (New addition shown shaded.) Each example builds off of the original building in such a way that it is offset from the existing facades slightly, which helps integrate it with the scale and character of the original building.

ii. *Architectural Details.*

(A) *Intent.* Augment the architectural character of the original building when designing additions, upper stories, dormers, and other modifications.

(B) *Guideline.* A new addition should relate to the design, materials, ornamental detail, and follow the roof shapes and slopes of the existing building.

(C) *Guideline.* Window and door proportions (including the design of sash and frames), floor heights, roof shapes and pitches, and other elements of the addition's exterior should relate to those of the existing building. Windows should be of similar type, materials, pane pattern and quality as those in the existing building.

(D) *Guideline.* Whenever possible, retain existing siding and features of buildings when making improvements and adaptations.

(E) *Guideline.* A change of materials, colors or textures on different elements is encouraged to provide further articulation and additional variety and character.

(F) *Guideline.* The primary entrance should face the public street.

**Commented [FE5]:** again, these are Guidelines that don't modify a Standard. These will be in the Historic Building Guidelines

56. *Additions and Modifications to Existing Development on the Opportunity Site.*

- a. *Applicability.* The following applies to the existing development located on the fountain district opportunity site.
- b. Additions and other exterior modifications to the existing building shall not be subject to the design standards of this chapter, provided a grocery store/supermarket use is retained; and provided further, that any such addition(s) or exterior modification(s) meets the following:
  - i. The design character of the existing building and the landscape character of the site are maintained.
  - ii. Any proposed addition(s) does not increase the building footprint by more than 25 percent nor exceed the height of the existing structure.

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iii. The addition(s) maintains a 10-foot setback from exterior property lines.

iv. The visual impact of any blank-wall additions at the building setback line shall be reduced using similar architectural and landscaping methods as those used along the rear of the existing building.

c. Additions or modifications that do not meet the criteria in subsection [\(B\)\(6\)\(b\)](#) of this section shall be subject to review and approval of the director under the applicable provisions of BMC [20.14.010](#). [Ord. 2020-02-004 § 3; Ord. 2015-01-001 § 2; Ord. 2013-05-033; Ord. 2010-10-057].

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~~20.35.070~~37.630 Old town overlay district – Development regulations.

A. *Minimum Site Area.* None.

B. *Maximum Density.* None.

C. *Building Height.* The maximum building height within the old town overlay district shall be 75 feet (BMC [20.08.020](#), height definition No. 1), except as provided in subsection (F) of this section and as follows:

1. To encourage a response to topography on sloping property, a building may be divided into modules and stepped with height measured on a per module basis.
2. Height may be increased to 130 feet (BMC [20.08.020](#), height definition No. 1) on those properties identified on Figure 20.35.070(A), except as provided in subsection (F) of this section and shown on Figure 20.35.070(C).
3. Height is limited adjacent to historic buildings as shown on Figure 20.35.070(B).
4. Height is limited within views to cultural and geographic features of significance as shown on Figures 20.35.070(C) and (D). Height limits within view corridors are measured to the highest point of a building or structure. Encroachment above the height limit into view corridors by rooftop objects such as mechanical equipment, elevator and stair shafts, smokestacks and ventilators is prohibited. Any exceptions are limited to those outlined in subsection (F)(1) of this section.

Figure 20.35.070(A) Height Opportunity Areas

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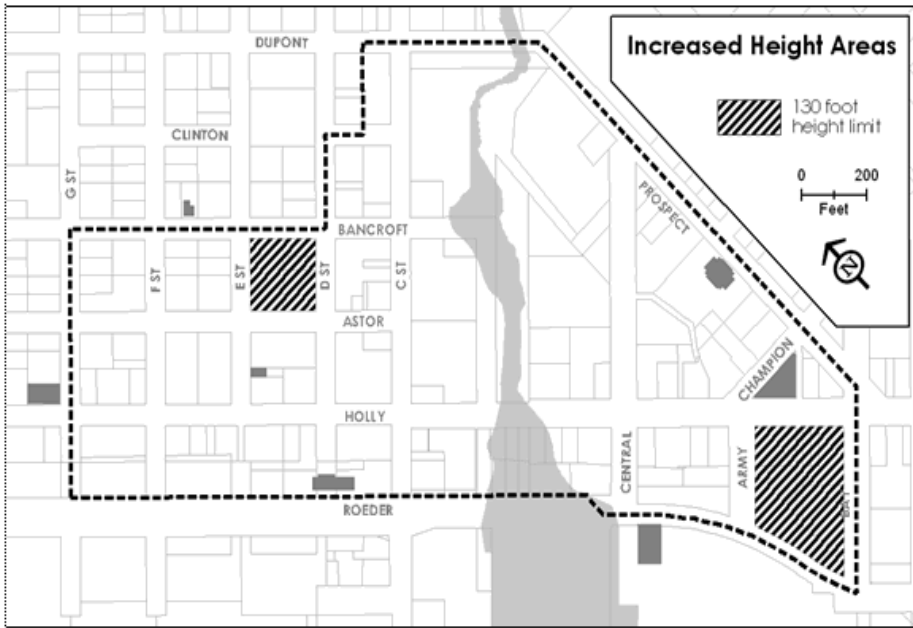


Figure 20.35.070(B) Height Limits Adjacent to Historic ~~Features~~ Buildings

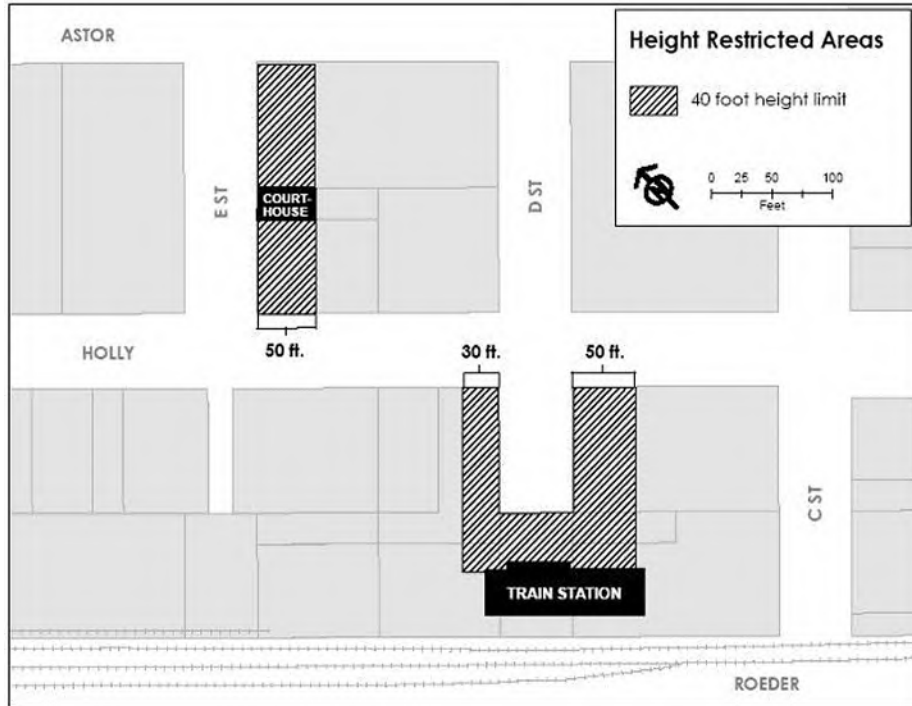


Figure 20.35.070(C) Height Limits within View Corridors to Cultural and Geographic Features

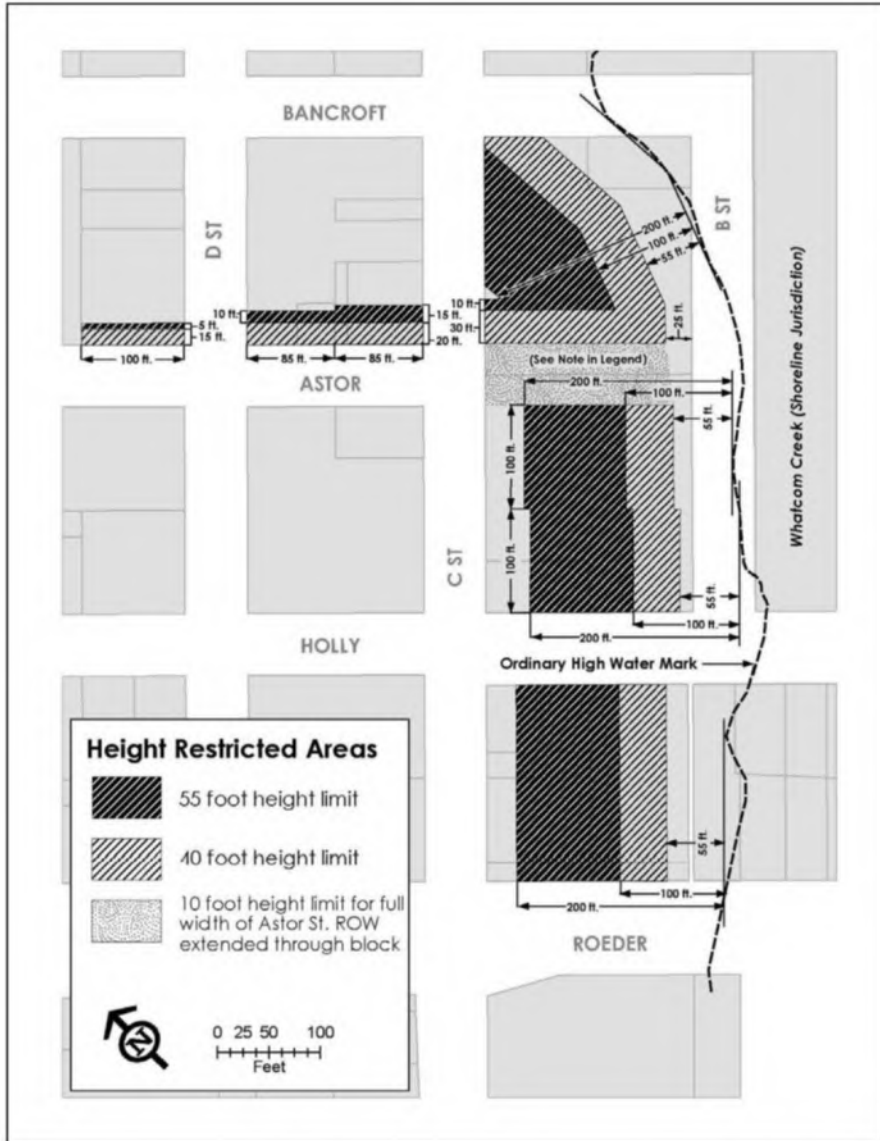
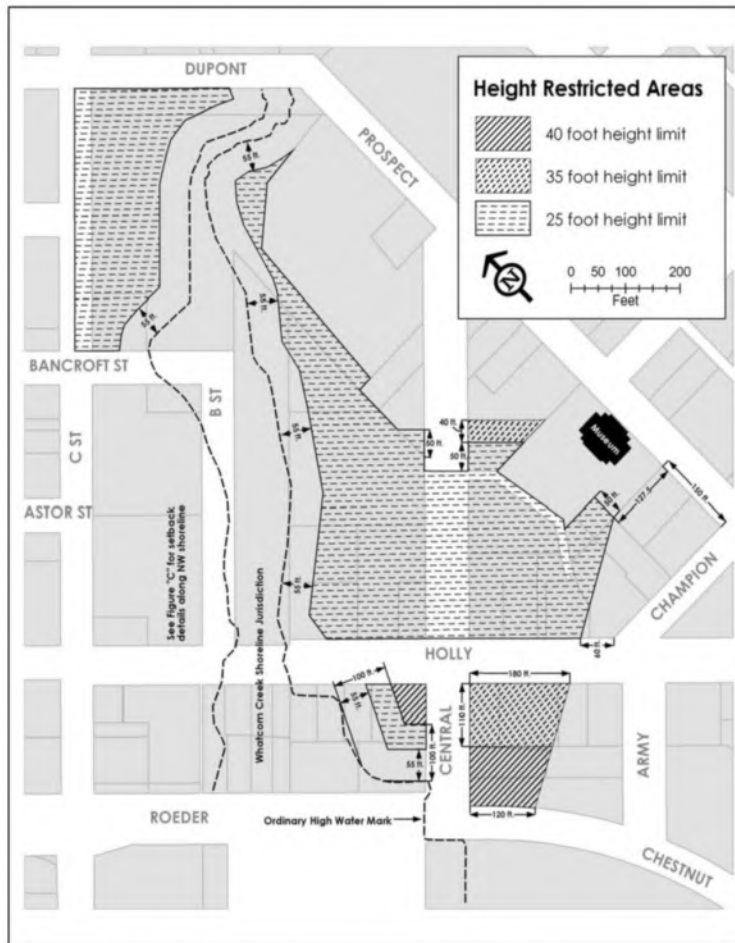


Figure 20.35.070(D) Height Limits within View Corridors to Cultural and Geographic Features



D. *Floor Area Ratio (FAR).*

1. *Purpose.* The maximum floor area ratio (FAR) standards are intended to accomplish several purposes of the old town subarea plan. Combined with the established height limits herein, the FAR allows for greater modulation in individual buildings and the greater urban fabric. They also provide architects greater flexibility in how to mass buildings on sites and relate projects to unique on- and off-site features.

2. *Floor Area Ratio (FAR) Standard.* The maximum FAR for all sites in the old town overlay district is 3.5, or 5.0 with use of floor area transfers and bonuses as outlined in subsections (D)(3) and (4) of this section.

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3. *Transfer of Floor Area.* Transfer of FAR among properties that are part of a single development plan is allowed when approved by the planning director, provided:

- a. The designs for the sending and receiving properties are reviewed at the same time.
- b. The property owner(s) executes a covenant with the city that is attached to and recorded with the deed of both the site transferring and the site receiving the floor area reflecting the respective increase and decrease of potential floor area.

4. *Floor Area Bonus Options.* Floor area bonus options are offered as incentives to encourage facilities and amenities that implement the old town subarea plan.

- a. Projects may use more than one bonus option unless specifically stated otherwise; bonus floor area amounts are additive.
- b. The maximum floor area ratio increase that may be earned through the bonus options is 1.5 for a maximum FAR on site of 5.0.
- c. *Bonus Options.*

- i. *Public Plazas and Open Spaces.* Floor area may be transferred to and from any property within the old town overlay district when approved by the planning director, provided:

- (A) The transferred floor area will result in dedication of a public plaza or open space as identified in the old town subarea plan;

- (B) For each square foot of base FAR allowed by the zoning code from an eligible site, one and one-half square foot of bonus floor area is earned on the receiving site(s) up to a maximum of 1.5 FAR per receiving site; and

- (C) The property owner(s) executes a covenant with the city that is attached to and recorded with the deed of both the site transferring and the site receiving the floor area reflecting the respective increase and decrease of potential floor area.

- ii. *Affordable Housing.* Housing for low and middle income residents receives bonus floor area when approved by the planning director. For each square foot of floor area certified by the director as affordable housing, four square feet of bonus floor area is earned up to a maximum of 0.5 FAR. The project must have controls in place, subject to approval by the director to ensure that the project's residences remain permanently affordable in accordance with subsections (D)(4)(c)(ii)(A) and (B) of this section. Purchasers of affordable homes constructed under this chapter shall meet the following requirements:

- (A) *Annual Income.* All purchasers or tenants shall be from a household whose annual income, at the household's initial occupancy of the single-family residence, is 80 percent or less of the median income (determined by Housing and Urban Development) as



adjusted by family size of the Bellingham Standard Metropolitan Statistical Area (SMSA), specifically defined as Whatcom County; and

(B) *Housing Expenses*. The monthly expenditure by a purchaser, as described in subsection [\(D\)\(4\)\(c\)\(ii\)\(A\)](#) of this section, for housing including rent or mortgage repayment, insurance, taxes and utilities (water and sewer) shall not exceed 38 percent of the gross household income at the time of purchase and the amount for rent or mortgage repayment shall not exceed 30 percent of gross household income. All other variable living expenses associated with the resident's occupancy shall not be a factor in the calculation of affordability.

iii. *Leadership Through Energy and Environmental Design™ (LEED) Certification (or Equivalent)*. Buildings that incorporate sustainable design receive a maximum 0.5 FAR bonus. To qualify for this bonus, the proposed project shall be certified by the planning director as a minimum LEED silver certification (or equivalent).

iv. Lake Whatcom watershed property acquisition program (LWWPAP) bonus option. Contributors to the LWWPAP receive floor area bonuses when approved by the planning director, provided:

(A) Bonus floor area earned is paid for on a per square foot basis according to a fee schedule established by city council resolution;

(B) Floor area paid for and floor area earned is at a 1:1 ratio, such that for each square foot paid for, one square foot of floor area is earned on the receiving site up to a maximum 0.5 FAR bonus;

(C) The applicant must submit with the application for land use review a letter from the Bellingham finance department documenting the amount which will be contributed to the LWWPAP.

E. *Yards*. There shall be no minimum yards.

F. *Design Standards*. [Design review applies as outlined in Chapter 20.25 BMC](#). The following design standards are intended to carry out the goals and policies of the ~~city-center master plan and BOEld T~~ town subarea plan, and shall be used in addition to the ~~city-center urban village design guidelines, standards, guidelines and decision criteria, and departure provisions outlined in BMC~~ [20.25.20.25.040\(C\)](#), [20.25.020\(C\)\(3\)](#). Should the provisions of this section conflict with any other provision in BMC ~~20.25.040(C)~~ [20.25.020\(C\)](#) [20.25.020\(C\)\(3\)](#), the provisions of this section shall apply.

1. *Commercial Street Frontage Required*.

**Commented [KJ1]:** Amended to be consistent in location, format and language with all other UVs.

a. Intent. Along Holly Street, Bay Street, Prospect Street and Commercial Street, street front uses should be compatible with intensive commercial activity and provide opportunities for visual or interactive links between businesses and pedestrians.

b. Standards. Along Holly Street, Bay Street, Prospect Street and Commercial Street, ground floor commercial space (including retail, services, or similar nonresidential uses) shall be provided along the building front for a depth of at least 20 feet measured from the front face of the building. Hotel and residential lobbies and parking garage entries are exempt from this provision. Hotel/motel guest rooms, dwelling units and structured parking shall not occupy street level building frontage where ground floor commercial space is required.

2. Street and View Corridor Encroachments.

a. *Intent.* Maintain identified view corridors of significance.

b. *Standard.* In order to maintain view corridors, above grade building encroachment into the street right-of-way and identified view corridors is prohibited except for eaves, cornices, awnings on the first floor, decks and balconies with see-through railings, and similar features.

32. Open Spaces and Public Places.

a. *Intent.* Buildings adjacent to public and open spaces such as public parks, plazas, trails and Whatcom Creek shall be oriented to promote activity and interaction along such spaces, and provide visual interest to buildings along the spaces so as to avoid the back-of-building effect.

b. *Standards.* Locate some ground level features such as entries, windows, decks, patios or similar features on buildings that interface with open spaces and public places.

~~3. Building Modulation.~~

~~a. Intent.~~

~~i. Design buildings in a manner that enhances identified view corridors to landmark features, creates visual interest to pedestrians, and minimizes building mass on public spaces.~~

~~ii. Step down building bulk to Maritime Heritage Park, residential neighborhoods, public spaces and listed historic buildings.~~

~~iii. Avoid long, uninterrupted expanses of walls, vertically and horizontally. Roof parapets and eaves are encouraged to vary in height to avoid long, straight lines at the maximum building heights.~~

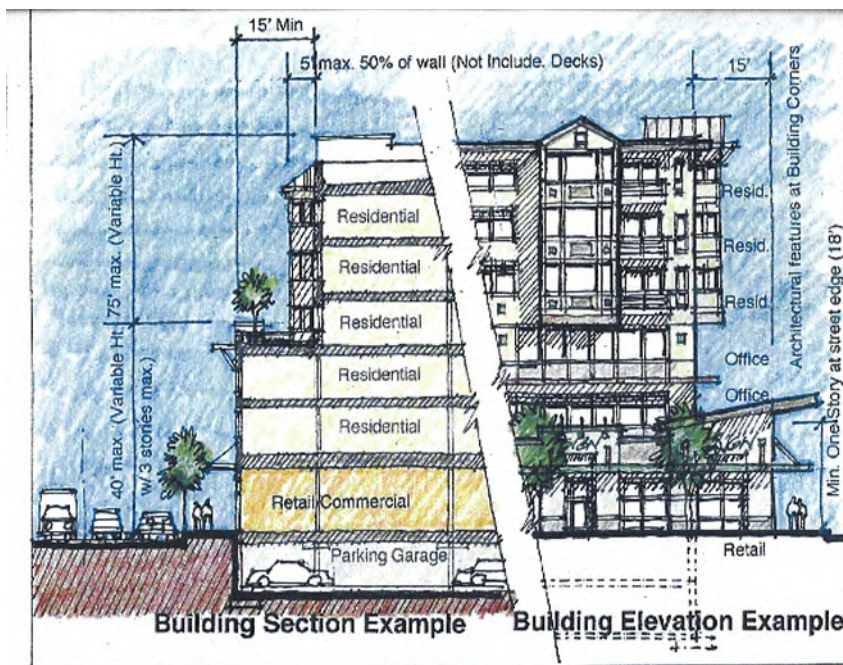
~~b. Standards.~~

i. The maximum height within 15 feet of any street right-of-way is three stories and 40 feet. The minimum height within 15 feet of any street right-of-way is one story and 18 feet. A maximum of 50 percent of wall length above the third story may encroach five feet into the setback (not including decks). See Figure 20.35.070(E).

ii. Provide at least one setback for every three stories in similar fashion to subsection (F)(3)(b)(i) of this section on building elevations that front Maritime Heritage Park, public spaces and historic buildings on the city, state or national historic registers. This provision shall apply regardless of whether the proposed development is built up to, or set back from, the common property line.

**Commented [GD2]:** Delete. Departures consistently granted.

Figure 20.35.070(E) Building Modulation



**4. Building Corners.**

a. *Intent.* Enhance key intersections as gateways to and within old town.

b. *Standard.* Stylistically distinguish buildings' corners along Holly Street at the intersections of Central Avenue, C and F Streets in a manner that contributes to the identity of old town. See Figure 20.35.070(F).

**Commented [GD3]:** Relocated to BMC 20.25 to apply to key intersections in all urban villages.

---

~~5. Roof Forms for Tall Buildings.~~

~~a. Intent. Create a skyline that is visually interesting.~~

~~b. Standards. Buildings over 75 feet in height shall:~~

~~i. Incorporate at least one additional setback at or above the fifth floor; and~~

~~ii. Incorporate features that create a visually distinct roof form. The following are examples of such features:~~

~~(A) Terraced setbacks.~~

~~(B) Pitched or curved roof elements.~~

~~(C) Projecting cornice elements.~~

~~(D) Trellises along the parapet.~~

~~(E) Geometric forms.~~

~~(F) Change of material or color on the top floor. See Figure 20.35.070(G).~~

G. Street Improvement Requirements.

1. New construction projects shall be required to improve abutting streets to three-fourths standard for the full length of the block face. Developer reimbursement for nonadjacent improvements may be applicable under BMC Title 14.

2. Street standards shall be generally consistent with the old town subarea plan streetscape designs. Minor modifications may be approved by the planning director.

~~Figure 20.35.070(F) — Building Corners~~

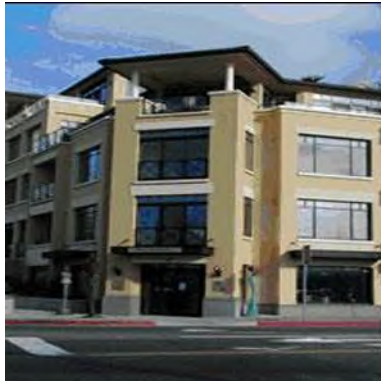


Figure 20.35.070(G)—Roof Forms



[Ord. 2008-03-022].

**The Bellingham Municipal Code is current through Ordinance 2021-10-039, passed October 11, 2021.**

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### 20.37.130 Samish Way urban village – Development.

A. *Applicability.* The regulations of this section shall apply to the development of any principal and/or accessory use within any area in the Samish Way urban village except as follows:

Development in residential transition areas shall comply with Chapter [20.28](#) BMC, Infill Housing, Chapter [20.30](#) BMC, Residential Single Development, or Chapter [20.32](#) BMC, Residential Multi Development, for corresponding development unless specified otherwise herein.

Table 20.37.130(A) Standard Development Regulations

Development Standards	Area						
	Commercial Core	Commercial Approach	Commercial Transition 1	Commercial Transition 2	Residential Transition Areas		
					Chapter <a href="#">20.28</a> BMC, Infill Housing	Chapter <a href="#">20.30</a> BMC, Residential Single Development	Chapter <a href="#">20.32</a> BMC, Residential Multi Development
Minimum Lot Size	None	None	None	None	(1)	5,000 SF	5,000 SF
Maximum Density	None	None	None	None	1,000 SF per unit	5,000 SF per unit	2,000 SF per unit
Setbacks from Property Lines	None (4)	None (4)	None (4)	None (4)	(1)	(2)	(3)
Maximum Height	75 feet (5)	75 feet (5)	45 feet (5)	55 feet (5)(6)	(1)	(2)	(3)
Maximum Floor Area Ratio (FAR)	2.5, up to 4.5 (6)	2.5, up to 4.5 (6)	2.5, up to 3.5 (6)	2.5, up to 3.5 (6)	(1)	N/A	N/A

Notes:

- 1 Subject to Chapter [20.28](#) BMC, Infill Housing, and BMC [20.37.130\(C\)](#) and [\(D\)](#).
- 2 Subject to Chapter [20.30](#) BMC, Residential Single Development, and BMC [20.37.130\(C\)](#) and [\(D\)](#).
- 3 Subject to Chapter [20.32](#) BMC, Residential Multi Development, and BMC [20.37.130\(C\)](#) and [\(D\)](#).
- 4 See subsections [\(C\)\(2\)](#) and [\(3\)](#) of this section for applicable setbacks when adjacent to residential zones or areas.
- 5 Height is measured per BMC [20.08.020](#), height definition No. 1. A building may be divided into modules and stepped with height measured on a per module basis in response to topography on sloping property. Height may be increased by three feet in order to accommodate a taller ground floor commercial street frontage or increased roofline modulation.
- 6 See subsection [\(B\)\(2\)](#) of this section for FAR standards and bonus criteria.

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B. *Floor Area Ratio (FAR).*

1. *Purpose.* The maximum floor area ratio (FAR) standards are intended to accomplish several purposes of the Samish Way subarea plan. Combined with the established height limits herein, the FAR allows for greater flexibility in how to mass buildings on sites and relate projects to unique on- and off-site features.
2. *Floor Area Ratio (FAR) Standard.* Base and maximum FARs for each commercial area are shown on Table 20.37.130-A. Floor area transfer and bonuses summarized in Table 20.37.130-B provide the opportunity to increase the base FAR on individual building sites to the maximum FAR on Table 20.37.130-A.
3. *Transfer of Floor Area.* Transfer of FAR among properties that are part of a single development plan is allowed when approved by the planning director, provided:
  - a. The designs for the sending and receiving properties are reviewed at the same time.
  - b. The property owner(s) executes a covenant with the city that is attached to and recorded with the deed of both the site transferring and the site receiving the floor area reflecting the respective increase and decrease of potential floor area.
4. *Floor Area Bonus Options.* Floor area bonus options are offered as incentives to encourage facilities and amenities that implement the Samish Way subarea plan.
  - a. Projects may use more than one bonus option unless specifically stated otherwise; bonus floor area amounts are additive.

Table 20.37.130(B) Summary of Floor Area Ratio Bonus Options

<b>Bonus Option</b>	<b>Floor Area Bonus</b>
Public Plazas and Open Spaces	Dedicate 1 SF; receive 2.5 SF
Affordable Housing	Provide 1 SF; receive 4 SF
Minimum LEED Gold Certification (or Equivalent)	1.0 FAR bonus
Lake Whatcom Watershed Property Acquisition Program	Receive one SF for each fee unit paid (see fee schedule)
Property dedicated for public right-of-way	Dedicate 1 SF; receive 2.5 SF



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b. *Bonus Options.*

i. *Public Plazas and Open Spaces.* Floor area may be transferred to and from any property within the Samish Way urban village when approved by the planning director, provided:

(A) The transferred floor area will result in dedication of a public plaza or open space with a minimum square footage of 16,000 square feet;

(B) For each square foot dedicated, two and one-half square feet of bonus floor area is earned up to a maximum of 1.0 FAR per receiving site; and

(C) The property owner(s) executes a covenant with the city that is attached to and recorded with the deed of both the site transferring and the site receiving the floor area reflecting the respective increase and decrease of potential floor area.

ii. *Affordable Housing.* Development which includes housing for low and middle income residents may receive bonus floor area when approved by the planning director. For each square foot of affordable housing, four square feet of bonus floor area is earned, up to a maximum of 1.0 FAR. The project must have controls in place to ensure that the units remain permanently affordable in accordance with subsections [\(B\)\(4\)\(b\)\(ii\)\(A\)](#) and [\(B\)](#) of this section:

(A) *Annual Income.* All purchasers or tenants shall be from a household whose annual income, at the household's initial occupancy of the single-family residence, is 80 percent or less of the median income (determined by Housing and Urban Development) as adjusted by family size of the Bellingham Standard Metropolitan Statistical Area (SMSA), specifically defined as Whatcom County; and

(B) *Housing Expenses.* The monthly expenditure by a purchaser, as described in subsection [\(B\)\(4\)\(b\)\(ii\)\(A\)](#) of this section, for housing including rent or mortgage repayment, insurance, taxes and utilities (water and sewer) shall not exceed 38 percent of the gross household income at the time of purchase and the amount for rent or mortgage repayment shall not exceed 30 percent of gross household income. All other variable living expenses associated with the resident's occupancy shall not be a factor in the calculation of affordability.

iii. *Leadership in Energy and Environmental Design<sup>TM</sup> (LEED) Certification (or Equivalent).* Buildings that incorporate sustainable design receive a maximum 1.0 FAR bonus. To qualify for this bonus, the proposed project shall be certified by the planning director as a minimum LEED Gold certification (or equivalent).

iv. *Lake Whatcom Watershed Property Acquisition Program (LWWPAP).* Contributors to the LWWPAP receive floor area bonuses when approved by the planning director, provided:

(A) Bonus floor area earned is paid for on a per square foot basis according to a fee schedule established by city council resolution;

(B) Floor area paid for and floor area earned is at a 1:1 ratio, such that for each square foot paid for, one square foot of floor area is earned on the receiving site up to a maximum 0.5 FAR bonus;

(C) The applicant must submit with the application for land use review a letter from the Bellingham finance department documenting the amount which will be contributed to the LWWPAP.

v. *Property Dedicated for Public Right-of-Way.* Properties that dedicate property for right-of-way purposes may use the pre-dedication square footage of the property for purposes of calculating base and bonus FAR. Properties that dedicate property for right-of-way purposes within the block bound by 34th and Abbott Streets, Consolidation Avenue and N. Samish as shown in Figure 20.37.140 may receive a floor area bonus when approved by the planning director, as follows:

(A) Land area dedicated and floor area earned is at a 1:2.5 ratio. For every square foot dedicated, two and one-half square feet of floor area is earned on the development site.

(B) The applicant must submit with the application for land use review a letter from a civil engineer documenting the land area to be dedicated for right-of-way.

C. *Design Standards.* Design review applies as outlined in Chapter [20.25](#) BMC [and this subsection](#). The following design standards are intended to carry out the goals and policies of the Samish Way subarea plan, and shall be used in addition to the urban village design [guidelines](#), standards, decision criteria, and departure provisions outlined in BMC [20.25.020\(CD\)\(3\)\(b\)](#). Should the provisions of this section conflict with any other provision in BMC [20.25.020\(CD\)\(3\)\(b\)](#), the provisions of this section shall apply.

1. *Commercial Street Frontage* [Required](#).

a. *Intent.* Along Samish Way, between and including the Abbott Street and Otis Street intersections, street front uses should be compatible with intensive commercial activity and provide opportunities for visual or interactive links between businesses and pedestrians.

b. *Standards.* Along Samish Way, between and including the Abbott Street and Otis Street intersections, ground floor commercial space (including retail, services, or similar nonresidential uses) shall be provided along the building street front as shown in Figure 20.37.110 for a depth of at least 20 feet measured from the front face of the building. Hotel and residential lobbies and parking garage entries are exempt from this provision. Hotel/motel guest rooms, dwelling units and structured parking shall not occupy street level building frontage where ground floor commercial space is required.

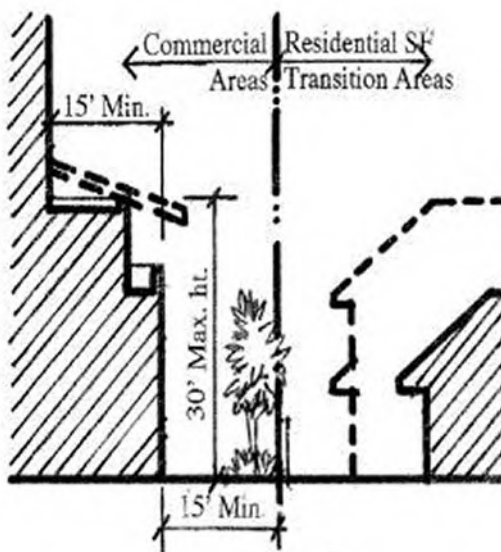
2. *Yards.*

- a. *Intent.* Provide appropriate transitions between commercial and residential areas.
- b. *Standard.* A building shall be set back a minimum of 15 feet from a property line abutting or across an alley from a residential single zone or a residential transition area. (See Figure 20.37.130.)

3. *Height.*

- a. *Intent.* The scale of those portions of a building facing an existing developed neighborhood should conform to the scale established in the neighborhood or the scale identified for the district.
- b. *Standard.* The maximum height within 30 feet of a property line abutting a residential single zone or a residential transition area shall be two stories and 30 feet. (See Figure 20.37.130.)

Figure 20.37.130 Massing and Articulation



4. *Detached Single-Family Residential Development in Residential Transition Area 2.* The following design standards and guidelines apply to single-family development using Chapter [20.30](#) BMC in Residential Transition Area 2.

a. *Design Standards.*

- i. Garages shall be set back at least four feet from the front face of the building.
- ii. Each dwelling shall have a covered front porch with an area of 60 square feet or more, with no dimension less than five feet.

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iii. Dwelling units that front the public street or lane shall have entrances facing the public street or lane.

iv. All fences in the front and side street setbacks are limited to 42 inches in height and may be no more than 60 percent opaque. Chain link or cyclone fencing is not allowed in the front or side street setback.

b. *Design Guidelines.* Use context-sensitive site design and building details to help ensure that new infill development will enhance the neighborhood and respect the scale and character of the existing houses on a street.

i. *Building Design.*

(A) Single story massing elements should be emphasized on the front facades, using porches and bays seen from the street.

(B) Gable roofs emphasize vertical proportions, create modulation and are strongly encouraged.

(C) The massing should be varied with elements such as bays, dormers, etc.

(D) A change of materials, colors or textures on different elements is encouraged to provide further articulation and additional variety and character.

(E) Homes should minimize the impact of the garage on the streetscape by minimizing blank garage doors, through the use of windows and/or architectural detail on the garage door.

ii. *Site Design.*

(A) Front yard parking aprons are not allowed.

(B) Back yards should be designed for privacy from neighbors.

(C) Fencing, especially when seen from the street, should be designed to integrate into the architecture of the building and add visual interest in its detail, materials or color.

D. *34th Street Access Restriction.* Vehicular access from the commercial transition zone to 34th Street and Edwards Street is prohibited, except for emergency vehicles. [Ord. 2019-12-038 § 2 (Exh. B); Ord. 2019-02-006 § 1; Ord. 2015-01-001 § 1; Ord. 2009-11-069].

**The Bellingham Municipal Code is current through Ordinance 2021-12-054, passed December 13, 2021.**

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## 20.25.080 Waterfront district.

~~A. Purpose. This section is intended to implement the waterfront district subarea plan by:~~

~~1. Creating a safe, vibrant mixed-use urban district which is welcoming to businesses, residents and visitors;~~

~~2. Promoting diverse pedestrian and transit-oriented development at street level;~~

~~3. Optimizing public access and views to and from the waterfront;~~

~~4. Encouraging a variety of interesting design styles, features and amenities;~~

~~5. Promoting sustainable design and development practices consistent with the LEED for Neighborhood Development program;~~

~~B. Departures from Design Requirements. The director may approve departures from the design requirements in this section. All requests for departures shall be identified in the application and reviewed by the design review board following the process in BMC 20.25.030(A)(1)(b) unless the request involves a building on the city, state or national register of historic places, in which case it shall be reviewed by the historic preservation commission. A departure may only be allowed if the director determines that the applicant has demonstrated that either:~~

~~1. In response to difficult physical circumstances relating to the size, shape, topography, location or surroundings of the subject property, an alternative solution is required that meets the intent of the requirement to the greatest extent practical; or~~

~~2. An alternative design will provide an equal or better solution that:~~

~~a. Meets the intent of the standard;~~

~~b. Enhances the character and livability of the waterfront;~~

~~c. Enhances the character and environment for pedestrians;~~

~~d. Enhances or protects the character of the neighborhood or vicinity by protecting natural features, historic sites, open space, or other resources; and~~

~~e. Will not have any substantial detrimental effect on nearby properties and the city or the neighborhood;~~

~~C. Specific Standards.~~

~~1. Site Design.~~

**Commented [CD1]:** Relocate this section to urban village design guidelines or waterfront development regulations sections

**Commented [CD2]:** Moved to 20.37.430 J (waterfront development regulations)

**Commented [CD3]:** Provided in 20.25.070 A

~~a. Orientation to Streets, Parks, and Trails.~~

~~i. Intent. Reinforce pedestrian activity, orientation to ground floor activities and enhance the liveliness of the street and public spaces through building location and design.~~

**Commented [CD4]:** Moved to a new section 20.37.430 J

~~ii. Guideline. Locate new structures to contribute to a strong “building wall” edge to the street such that they align at the front lot line and build out to the full width of the parcel, to the side lot lines. Although small gaps may occur between some structures, these are the exception. This should not preclude the provision of a wider sidewalk, public space, landscaping, art or outdoor seating.~~

~~iii. Guideline. Locate the primary building entrance at street level facing a public street. The primary entrance should be more articulated and highlighted (size, material, recessed, lighting) than secondary entrances.~~

**Commented [CD5]:** Guidelines S3, P1, P2

~~iv. Guideline. Commercial buildings facing public streets or trails in commercial mixed use areas shall have entrances from the street or trail every 75 feet, on average.~~

**Commented [CD6]:** Changed to a standard and moved to 20.37.430

~~v. Guideline. Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate well to each other and their functions are mutually supportive. The following should be considered:~~

~~(A) Ensure that buildings which directly front on parks and trails interact with facility users.~~

~~(B) Activate parks and trails with a variety of uses that provide a continuity of experience with focused nodes of activity and destinations that are linked together.~~

~~(C) Provide interpretive opportunities that incorporate the cultural, historical, economic and environmental history of the site and community into the design of the park.~~

~~(D) Minimize conflicts with vehicular traffic.~~

~~(E) Consider the localized effect of sun angles, shading and wind on proposed park facilities and spaces.~~

~~vi. Guideline. Site and design project-related open spaces to connect with, or enhance, the uses and activities of other nearby public open space where appropriate. Look for opportunities to support uses and activities on adjacent properties and/or the sidewalk.~~

**Commented [CD7]:** Moved to Waterfront appendix. Consider deleting.

~~b. Bay Street Connector.~~

**Commented [CD8]:** Moved to Waterfront appendix

~~i. Intent. A key design consideration for the waterfront district is the need to establish a strong visual and multi-modal connection between the existing commercial downtown and the business, residences and public spaces in the waterfront area. Although this connection will be~~

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challenging due to the presence of a bluff with a grade difference of approximately 60 feet between the downtown and waterfront districts, the Bay Street alignment can be developed in a manner that provides a gateway and strong linkage to the waterfront. Thoughtful design will be necessary to achieve both an effective and functional linkage. (See Figure 20.25.080(A).)

ii. *Guidelines.* New development should respond to the following to ensure successful implementation of the Bay Street Connector:

- (A) Create an iconic gateway from the downtown to the waterfront district and from the waterfront to downtown.
- (B) Provide more than just a convenience between districts; the connection should itself be a destination.
- (C) Preserve and integrate views along the connection from downtown to the interior of the site, tile tanks, digester, islands, and Olympic Mountains.
- (D) Program a series of experiences and active uses to draw people through the corridor.
- (E) Ensure that nonmotorized access is seamless between districts.



Figure 20.25.080(A) Bay Street Connector Concept

c. *Surface Parking.*

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- i. *Intent.* Ensure that surface parking lots are not a dominant element within the waterfront district and minimize the impact of surface parking on the pedestrian environment.
- ii. *Standard.* Parking shall be located to the rear or side of buildings. Surface parking lots shall not be located at intersections nor include more than 120 feet of street frontage along any arterial street (see Figure 20.25.080(B)). Access should be from a local street or alley where feasible.

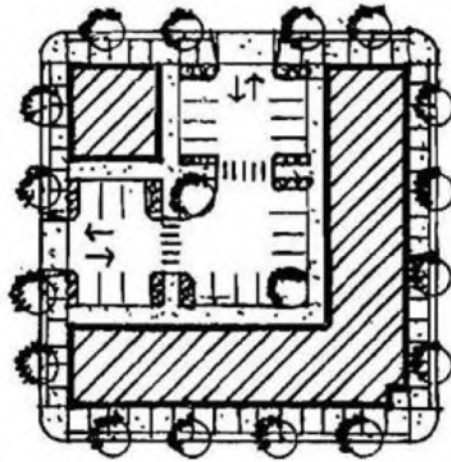


Figure 20.25.080(B) Surface Parking – Parking Area Interior to Site

- iii. *Standard.* Long-term off-street surface parking lots shall not be located adjacent to Granary Avenue or W. Laurel Street. Interim surface parking lots may be permitted along Granary Avenue and W. Laurel Street for up to 10 years on parcels intended for redevelopment.

~~d. Drive-Through Facilities.~~

- ~~i. *Intent.* Diminish the impact of automobiles on the pedestrian environment.~~
- ~~ii. *Standard.* Access and stacking lanes for drive-through services shall not be located between the street and the building or between the building and a residential zone. (See Figure 20.25.080(C).)~~

**Commented [CD9]:** Moved to new section 20.37.430 J

**Commented [KJ10R9]:** So it appears that this will supersede what is already in 20.25.070 since it is more specific. Will the following diagram also be moved to 20.37.430(J) to accompany the standard?

**Commented [CD11R9]:** Yes, the diagram should be moved or the reference to it eliminated. I personally do not find it very useful.

**Commented [CD12]:** Moved to 20.37.430 J

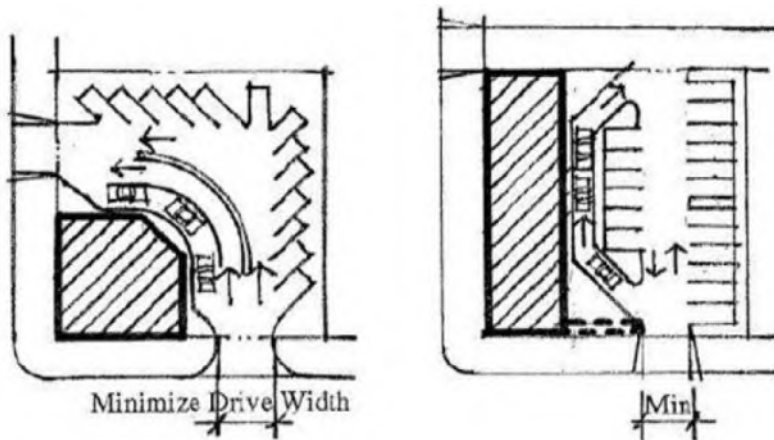


Figure 20.25.080(C) Drive-Through Facilities

~~e. Refuse Enclosures.~~

- ~~i. Intent. Reduce the impact and view of trash and recycling storage areas.~~
- ~~ii. Guideline. Locate refuse and recycling storage areas to the rear of the site, screened from arterial streets and pedestrian walkways.~~
- ~~iii. Standard. Refuse containment areas shall be placed in a building or enclosed within a structure that is of similar architectural character to the major structures on the site.~~

~~f. Rooftop Screening.~~

- ~~i. Intent. Rooftops and mechanical equipment should not detract from the appearance of the building and should be designed with consideration of the appearance from the adjacent bluff.~~
- ~~ii. Standard. Screen mechanical equipment by extending the parapet walls or other roof forms that are integrated with the architecture of the building to a height that equals or exceeds the height of the mechanical equipment. Utilize rooftop vegetation, screening or roofing materials which minimize glare from rooftops.~~

~~g. Pedestrian Connectivity.~~

- ~~i. Intent. Create a network of safe, convenient and attractive off-street linkages for pedestrians.~~
- ~~ii. Guideline. When a development encompasses a site greater than 240 feet wide or deep, incorporate pedestrian access through the site to connect to alleys, streets or neighboring properties. (See Figure 20.25.080(D).)~~

Commented [CD14]: Duplicated in BMC 20.25

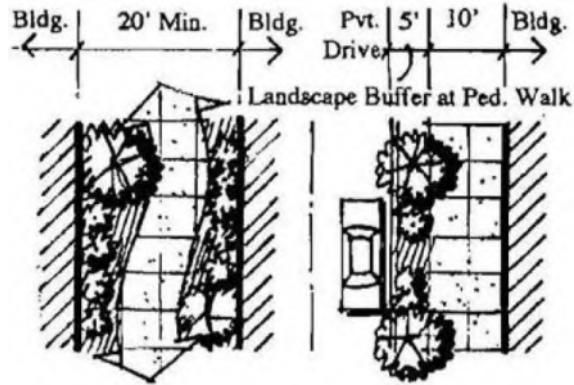


Figure 20.25.080(D) Pedestrian Connectivity

iii. *Guideline.* Provide walkways connecting building entrances to adjacent streets, parks and buildings. Locate walkways in active and well-lighted areas visible from adjoining public spaces. (See Figure 20.25.080(E).)

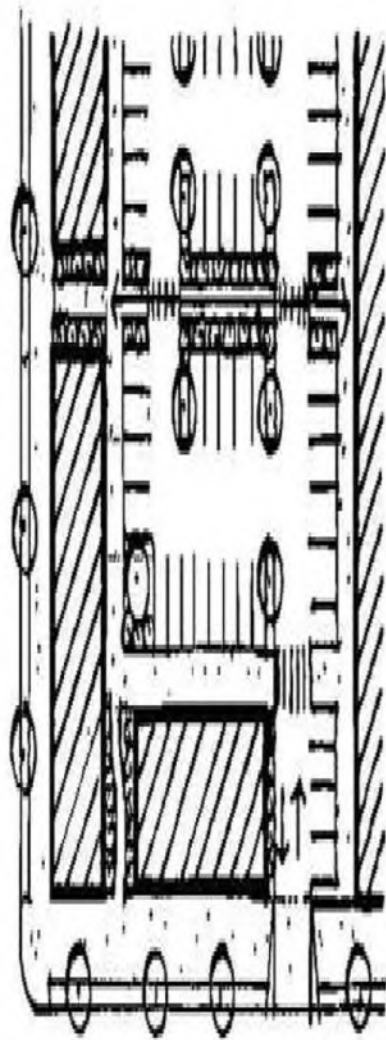


Figure 20.25.080(E) Pedestrian Connectivity

~~iv. Standard. Pedestrian through-block connections shall include a walkway at least five feet wide and shall be clearly defined by use of material, elevation (six inches raised) or landscaping borders. The space between two buildings adjoining a through-block walkway shall be a minimum of 20 feet, unless a shorter distance is approved through design review.~~

**Commented [CD17]:** Covered within 20.25.070

**Commented [CD18]:** Moved to 20.25.070

~~iv. *Standard.* Pedestrian access shall be provided between the building main entry and the public sidewalk. If walkways cross parking lots or driveways, the walkway shall be separated from the parking area by landscaping or by raised pavement, or, when crossing driving lanes, by a change in pavement texture or material.~~

**Commented [CD19]:** Covered in 20.25.070

~~h. *Site Lighting.*~~

~~i. *Intent.* Provide architectural character and safety and encourage evening activity while minimizing impacts to neighboring properties and the darkness of the night sky.~~

~~ii. *Guideline.* Shielded low intensity lighting should be provided for entries, walkways, parking garage entrances, parking lots, alleys and refuse enclosures.~~

~~iii. *Guideline.* Parking lot lights should generally be no more than 18 feet in height and lower for pedestrian walkways.~~

iv. *Guideline.* Lighting should be directed away from the sky, dwellings and neighboring development. The use of LED or low energy use fixtures with cut off shades which meet LEED standards and dark sky criteria is strongly encouraged.

**Commented [CD20]:** Moved to 20.25.070

v. *Guideline.* Light fixtures should contribute to the overall design of the building and may be used to highlight special architectural features.

i. *Acoustical Site Planning.*

i. *Intent.* Employ site planning, design, and building orientation techniques in new residential development to minimize the potential for noise impacts from off-site noise-generating sources such as industrial operations and the railroad.

ii. *Guideline.* Site residential units at some distance from noise-generating sources, or closer to quieter and less traveled roadways, planned parks and green spaces.

iii. *Guideline.* Acoustical noise reducing concepts could be incorporated in the architectural design of individual buildings. These concepts could include room arrangement, window placement, and balcony and courtyard design. For example, placing bedrooms and living rooms in the part of the residential building farthest from the noise source, while placing kitchens and bathrooms closer to the noise source.

iv. *Guideline.* Acoustical construction treatments could be used for various parts of the residential buildings to reduce interior noise impacts. Treatments could include the use of walls, windows, doors, ceilings, and floors that have been treated to reduce sound transmission into a building (the use of dense materials and the use of airspaces within materials are the principal noise-reducing techniques of acoustical construction).

**Commented [CD21]:** Moved to Waterfront appendix

v. *Guideline.* Non-living portions of residential buildings (such as garages, commercial spaces, and recreational facilities) could be placed between the residences and noise-generating sources.

## 2. Building Design.

### a. Building Scale.

i. *Intent.* Establish a building scale consistent with a highly urban downtown context.

Commented [CD22]: Moved to BMC 20.37.430

ii. *Guideline.* Compose the massing and organize the interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

iii. *Guideline.* Develop a primary facade that is in scale and maintains alignments with surrounding buildings. Although a new building may tower above the surrounding buildings, the first several stories should visually relate to the surrounding context.

Commented [CD23]: Covered in guidelines S2, P4, B1, B2

iv. *Standards.* (See Figure 20.25.080 (F).)

(A) Minimum building height within 15 feet of the street frontage of arterial streets in the commercial mixed use subzone is 25 feet.

(B) Buildings within the commercial mixed use sub-zone should have at least three stories of occupied space in some portion of the building. This standard does not apply to buildings located within parks, view corridors or shoreline jurisdiction.

Commented [CD24]: Moved to 20.37.430

### b. Massing and Articulation.

i. *Intent.* Reduce the apparent mass of large buildings to provide visual interest and pedestrian scale.

ii. *Guideline.* Encourage visually distinct tops by incorporating roof parapets and eaves that vary in height to avoid long, straight lines at the maximum building heights.

Commented [CD25]: Covered by guidelines S2, P4, B1,

iii. *Guideline.* Buildings with facades longer than 50 feet should be divided into “modules” that are expressed three dimensionally throughout the building facade. Modules could vary in width and height.

iv. *Guideline.* Reduce the apparent mass of buildings facing adjacent public spaces by stepping down building height and reducing the area of wall planes.

v. *Standards.*

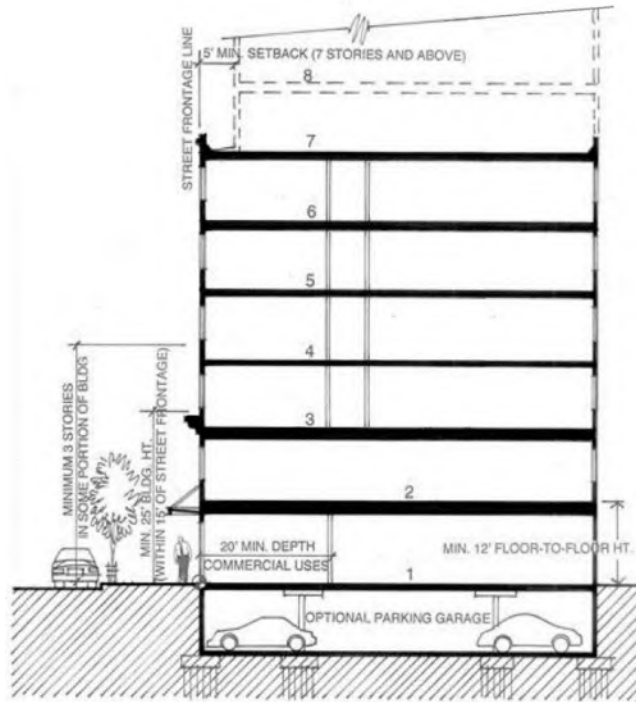


Figure 20.25.080(F) Massing and Articulation

(A) Buildings over seven stories in height shall incorporate at least one setback above the third floor but below the eighth floor (see Figure 20.25.080(F)), and shall incorporate features that create a visually distinct roof form (see Figure 20.25.080(G)). The following are examples of such features:

1. Terraced setbacks.
2. Pitched or curved roof elements.
3. Projecting cornice elements.
4. Trellises along the parapet.
5. Geometric forms.
6. Change of material or color on the top floor.



Figure 20.25.080(G) Roof Forms

~~(B) The street level floor of buildings within commercial mixed-use subzones shall have a minimum floor-to-floor height of 12 feet.~~

~~(C) The floor plate for any portion of a building exceeding 100 feet in height is limited to 14,000 square feet. (See Figure 20.25.080(H).)~~

~~(D) Any portion of a building exceeding 100 feet must be located at least 100 feet from any portion of an existing or approved building face which exceeds 100 feet. (See Figure 20.25.080(H).)~~





Figure 20.25.080(H) Floor Plate Standards for Buildings Over 100 Feet Tall

c. *Variations on Building Design.*

- i. *Intent.* To avoid repetition and monotony, create a range of different forms similar to the variety of buildings and styles found in traditional downtowns which evolved over time.
- ii. *Guideline.* When a development includes three or more buildings, the buildings within a development should not use identical footprints or elevations. Changes in textures and colors may be appropriate. While there may be some elements that provide a commonality to the entire development, variety shall be visually evident.

~~d. *Commercial Street Frontage Standard.*~~

- ~~i. *Intent.* To encourage pedestrian-oriented activity at street level along arterial streets in the downtown waterfront area.~~
- ~~ii. *Guideline Standard.* The front 20 feet of building space at sidewalk level along Granary Avenue and W. Laurel Street shall be designed for commercial or public uses, including retail, service, office, government, or similar nonresidential uses. Lobbies for residential uses and hotels and parking garage entries are exempt from this provision. Hotel guest rooms, dwelling units and structured parking garages shall not occupy street level building space fronting on Granary Avenue or W. Laurel Street.~~

~~e. *Ground Floor Details.*~~

- ~~i. *Intent.* Reinforce the character of the streetscape by encouraging the greatest amount of visual interest along the ground-level of buildings facing streets.~~

**Commented [CD28]:** Move to Waterfront appendix or eliminate

**Commented [CD29]:** Moved to waterfront regulations 20.37.430 J

ii. *Guideline.* Create a visually distinct base. Ground-floor, street-facing facades of commercial and mixed-use buildings shall incorporate elements such as lighting, medallions, belt courses, plinths for columns, kick plates, projecting sills, tile work, pedestrian-scale signs, planter boxes or other vegetation, or other elements that meet the intent.

iii. *Guideline.* Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should appear safe, welcoming, and open to the general public.

iv. *Guideline.* Consider setting portions of the building back slightly to create spaces conducive to pedestrian-oriented activities such as vending, resting, sitting, or dining. Further articulate the street level façade to provide an engaging pedestrian experience via open facades (i.e., arcades and shop fronts); multiple building entries; windows that encourage pedestrians to look into the building interior; merchandising display windows; street front open space that features artwork, street furniture and landscaping; and exterior finish materials having texture and pattern, lending themselves to high quality detailing.

#### ~~ii. Structured Parking.~~

i. *Intent.* Reduce the visual impacts of structured parking on public streets and open spaces.

ii. *Guideline.* Where feasible, parking garages should be located on local streets or alleys or integrated within a building with occupied building space along the ground-level street frontage.

iii. *Guideline.* Structured parking levels that are adjacent to an arterial street or open space, or a public street within a commercial mixed zone, shall be screened or treated architecturally by window openings, landscaping or artwork designed to screen the facade.

#### ~~g. Building Material.~~

i. *Intent.* Create a vibrant waterfront district through the use of good design and quality materials. The design of architectural features should contribute to create a building that exhibits a coherent architectural concept.

ii. *Guideline.* Design architectural features that are an integral part of the building.

iii. *Guideline.* Discourage features that appear to be “tacked on” or artificially thin.

iv. *Guideline.* Material selection should exhibit high quality, particularly at street level. Examples include stone, brick, tile, concrete, metal, or transparent glass. Residential lap siding should be discouraged or minimized to an accent material.

v. *Guideline.* Encourage the use of recessed windows that create shadow lines.

#### ~~h. Transparency.~~

**Commented [CD30]:** Covered by guidelines S2, S3, P1, P2, P3, P4, B1, B2

**Commented [CD31]:** Covered by Guidelines P2

**Commented [CD32]:** Covered by Guidelines B1, B2

i. *Intent.* Provide a visual link between business spaces and public sidewalks to create visual interest at the pedestrian level.

ii. *Standard.* A minimum of 60 percent of the building wall between two feet and seven feet above the sidewalk facing an arterial street in the commercial mixed use subzone shall be transparent or lightly tinted glazing. Windows into parking garage space shall not qualify. If windows are not appropriate, glass display cases, decorative art (for example, murals or relief sculpture), significant architectural detailing or wall covering landscaping may be used. (See Figure 20.25.080(I).)



Figure 20.25.080(I) Transparency

Commented [CD33]: Covered in 20.25.070

i. *Weather Protection.*

i. *Intent.* Provide pedestrians rain protection, integrate individual buildings into the streetscape, and define the pedestrian zone.

ii. *Guideline.* Project applicants are encouraged to provide continuous, well-lit, overhead weather protection where commercial uses are located at street level along arterial streets.

iii. *Guideline.* Weather protection should be located between eight and 12 feet above the walkway but a higher placement may be considered if the width of the protection is increased.

Commented [CD34]: Covered in guidelines P(1) and BMC 20.25.070

j. *Blank Walls.*

i. *Intent.* Provide visual interest and avoid the negative impacts of blank walls.

ii. *Standard.* A blank wall is a wall or a portion of wall that is either (A) at least 400 square feet in area with a length and a width of at least 10 feet that does not include a window, door,

building modulation or other architectural feature or (B) at the ground floor and over six feet in height with a horizontal length greater than 15 feet that does not include a window, pedestrian entry door, building modulation or other architectural feature. Any blank wall within 50 feet of, and visible from, a public street, public park or trail shall be treated with at least one of the following:

(A) Artwork, such as bas relief sculpture, mural or similar feature.

(B) A landscaping bed containing trees, shrubs and/or vines on a trellis that will cover at least 60 percent of the wall within three years. Landscape beds shall be at least five feet in width, open to the sky and use drought resistant plants or include irrigation with reclaimed water.

(C) Architectural detailing incorporating trims, textures, reveals, contrasting materials, or other special detailing that provides visual interest.

(D) An alternative method of providing visual interest at the pedestrian level approved through design review.

Commented [CD35]: Covered by BMC 20.25.070

~~k. Public Open Spaces.~~

i. *Intent.* Buildings adjacent to public open spaces such as public parks, plazas, and trails shall be oriented to promote activity and interaction, and provide visual interest to and from buildings so as to avoid the back-of-building effect.

ii. *Guideline.* Locate some ground-level features such as entries, windows, decks, patios or similar features on buildings that interface with the public open space.

Commented [CD36]: Covered by guidelines S3, P1, P3

~~l. Projections into the Public Right-of-Way.~~

i. *Intent.* Provide adequate separation between private residential spaces, such as balconies, and the public walkway in order to make both the private and public spaces comfortable. Projections should not interfere with street amenities such as street trees, lighting or important public views. (Street encroachments are also regulated by the building code and BMC Title 13.)

ii. *Standards.* No portion of a building may extend into the street right-of-way except:

(A) Decks and balconies shall not project more than two feet into the right of way unless incorporated into a fixed awning at the ground floor level. Other than the preceding, a deck or balcony may not in any case project more than four feet into the right-of-way.

(B) Bay windows and similar architecture features with a horizontal width of not greater than 12 feet that project no more than four feet into the right-of-way from the face of the exterior wall, provided they are separated from like features by at least an equal width, may protrude into the right-of-way.

~~(C) Columns, cornices, trellises, eaves and similar minor and/or decorative features; provided, that arcades shall not be located in the street right-of-way.~~

~~(D) Steps, stoops and similar ground level features provided there is a minimum 12 feet of horizontal clearance to the street curb edge.~~

~~(E) Awnings, marquees and signs, subject to compliance with other codes, provided no ground-mounted support structures for these features shall be located in the right-of-way.~~

**Commented [CD37]:** Covered in BMC 20.25.070

~~m. Residential Design.~~

~~i. Intent. Residential projects should have an active and direct link to the street pedestrian system while maintaining an appropriate transition from public to private space.~~

~~ii. Standards.~~

~~(A) Buildings containing residential uses shall have at least one covered front residential entryway facing a public right-of-way and accessed directly from the adjoining sidewalk.~~

~~(B) Open exterior entry/exit balconies that face a right-of-way are prohibited.~~

~~(C) Residential units built within 10 feet measured horizontally of an adjoining right-of-way or public space (property line) shall be constructed so that the finished floor elevation is at least 24 inches above the adjoining sidewalk.~~

~~(D) Ground floor residential units fronting on a street shall have a private main entry to the sidewalk consisting of a stoop or porch. Patio access doors shall not be considered a main entry.~~

~~(E) When private interior courtyards interface the street edge, use a landscape hedge, ornate fencing, architectural walls, or a combination of the above to carry the wall line at the street edge and define the private space.~~

**Commented [CD38]:** Repeated in BMC 20.25.070

~~n. Decks and Balconies.~~

~~i. Intent. When provided, decks and balconies shall be designed as an integral element to a building's architecture.~~

~~ii. Guideline. Decks and balconies should add visual texture and depth to the facade of a building without dominating the street or pedestrian environment below. They should not appear to be "tacked on" or artificially thin. [Ord. 2019-12-040 § 9; Ord. 2014-09-043 § 4; Ord. 2013-12-090 § 7 (Exh. E)].~~

**Commented [CD39]:** Covered by Guidelines B1

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**The Bellingham Municipal Code is current through Ordinance 2021-10-039, passed October 11, 2021.**

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20.37.430 Waterfront district urban village – Development regulations.

A. *Applicability.* The regulations of this section shall apply to the development of any principal and/or accessory use within any area in the waterfront district urban village.

B. ~~[REPEAL] *Design Review.* See Section X below, Chapters 20.25 and 21.10 BMC for applicable design-review areas, standards, and procedures. This chapter supercedes any conflicts with other chapters.~~

C. *Subdivision.* Except where the provisions of this section conflict with any other provisions, the subdivision of land within the district shall comply with Chapter 58.17 RCW and BMC Title 23, as applicable.

1. There shall be no minimum lot width, depth or street frontage requirements for lots created for the purposes of residential, commercial, mixed-use, industrial, or institutional uses.

2. Land divided through the binding site plan shall comply with Chapter 23.24 BMC, except as modified herein.

a. Land divided through the binding site plan may include residential uses provided such division of land is compliant with RCW 58.17.035.

b. A separate general binding site plan contract is not required. The waterfront subarea plan and this section shall be considered the contract.

c. All lots must abut appropriate utilities located in either right-of-way or adequate easements.

D. *Minimum Lot Size.* None.

E. *Maximum Density.* Building floor area ratios shall be consistent with subsection (H) of this section.

F. *Setbacks.*

1. There shall be no minimum yards or building setbacks in the commercial mixed-use subzone.

2. The location and screening of buildings and uses in the industrial mixed-use subzone shall comply with BMC 20.37.470, Waterfront district urban village – Landscaping.

G. *Maximum Building Height.*

1. Maximum building heights within the waterfront district are shown on Figure 20.37.430-A except as provided herein.

2. Height is measured per height definition No. 1. Exceptions:

a. Waterfront topography will be raised during construction in conformance with requirements of the waterfront district planned action ordinance (Chapter 16.30 BMC, Exhibit A) to account for sea

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**Commented [KJ1]:** Move to .430(J) and amend language to be consistent in location, format and language with all other UVs.

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level rise and installation of public infrastructure. Existing grade shall be that which is established with such fill activities when height is not measured from an abutting city sidewalk.

b. A building may be divided into modules and stepped with height measured on a per module basis to respond to topography on sloped property.

3. Solar and wind power generating facilities may be permitted to exceed maximum building height limits, provided they are not located within view corridors.

4. *View Corridors.*

a. View corridors within the waterfront district are shown on Figure 20.37.430-A.



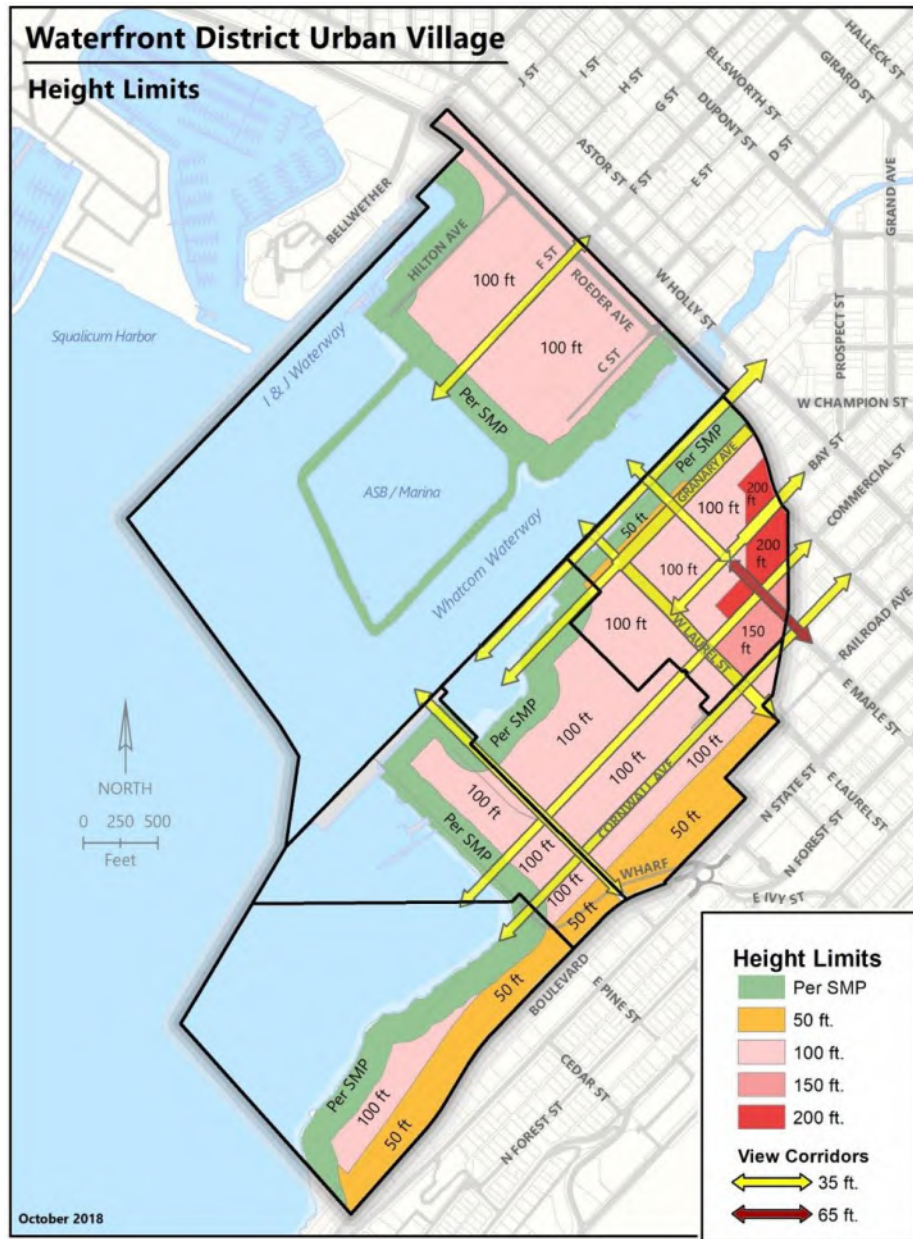


Figure 20.37.430-A Waterfront District Urban Village Height Limits

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b. Building height within view corridors is limited to 35 feet with the exception of the Maple Street view corridor which is limited to 65 feet upland from the tile tanks, and 35 feet waterward from the tile tanks. Where view corridors fall within public rights-of-way, including the Bay Street extension over the proposed parking garage, the view corridor extends to the edge of the right-of-way. View corridors which do not fall within public rights-of-way extend 30 feet on either side of the centerline of the designated view corridor.

c. Height within view corridors is measured to the highest point of the building or structure. Encroachment above the height limit into view corridors by rooftop objects such as mechanical equipment, elevator and stair shafts, smokestacks and ventilators is prohibited, other than eaves, cornices, awnings, decks with see-through railings and other similar features not exceeding four feet tall.

d. *Exempt Structures.* Structures of iconic art and historic waterfront structures that may be preserved and/or moved are exempt from view corridor height limits.

5. Properties within the jurisdiction of the shoreline master program are also regulated by the height limits as defined in the shoreline master program. Where conflicts arise, the more restrictive height applies.

6. Building height is further defined by building step backs, tall building floor plate restrictions and tower location standards as specified in the applicable design standards in BMC [20.25.080](#).

#### H. *Floor Area Ratio (FAR).*

1. *Purpose.* The maximum floor area ratio (FAR) standards are intended to allow for modulation in individual buildings and flexibility in how to mass buildings on the site. Floor area ratios, combined with the density bonuses, height limits, view corridors and design standards are intended to implement the waterfront district subarea plan.

##### 2. *Floor Area Ratio (FAR) Standard.*

a. Base and maximum FAR for each subzone are illustrated on Figure 20.37.430-B. Industrial mixed-use land use areas are exempt from FAR.

b. Floor area transfer and bonuses outlined in Table 20.37.430-A provide the opportunity to increase FAR on individual building sites in the commercial mixed-use areas by a maximum of 2.0 FAR to the maximum FAR shown on Figure 20.37.430-B.

3. *Transfer of Floor Area.* FAR may be transferred between properties that are part of a single development plan, provided:

a. The designs for the sending and receiving properties are reviewed at the same time.

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b. The property owner(s) executes a covenant with the city that is attached to and recorded with the deed of both the site transferring and the site receiving the floor area reflecting the respective increase and decrease of potential floor area.

4. *Floor Area Bonus Options.* Floor area bonus options summarized in Table 20.37.430-A and fully described in subsection [\(H\)\(4\)\(c\)](#) of this section are offered as incentives to encourage facilities and amenities that implement the waterfront district subarea plan.

a. Projects may use more than one bonus option unless specifically stated otherwise; bonus floor area amounts are additive.

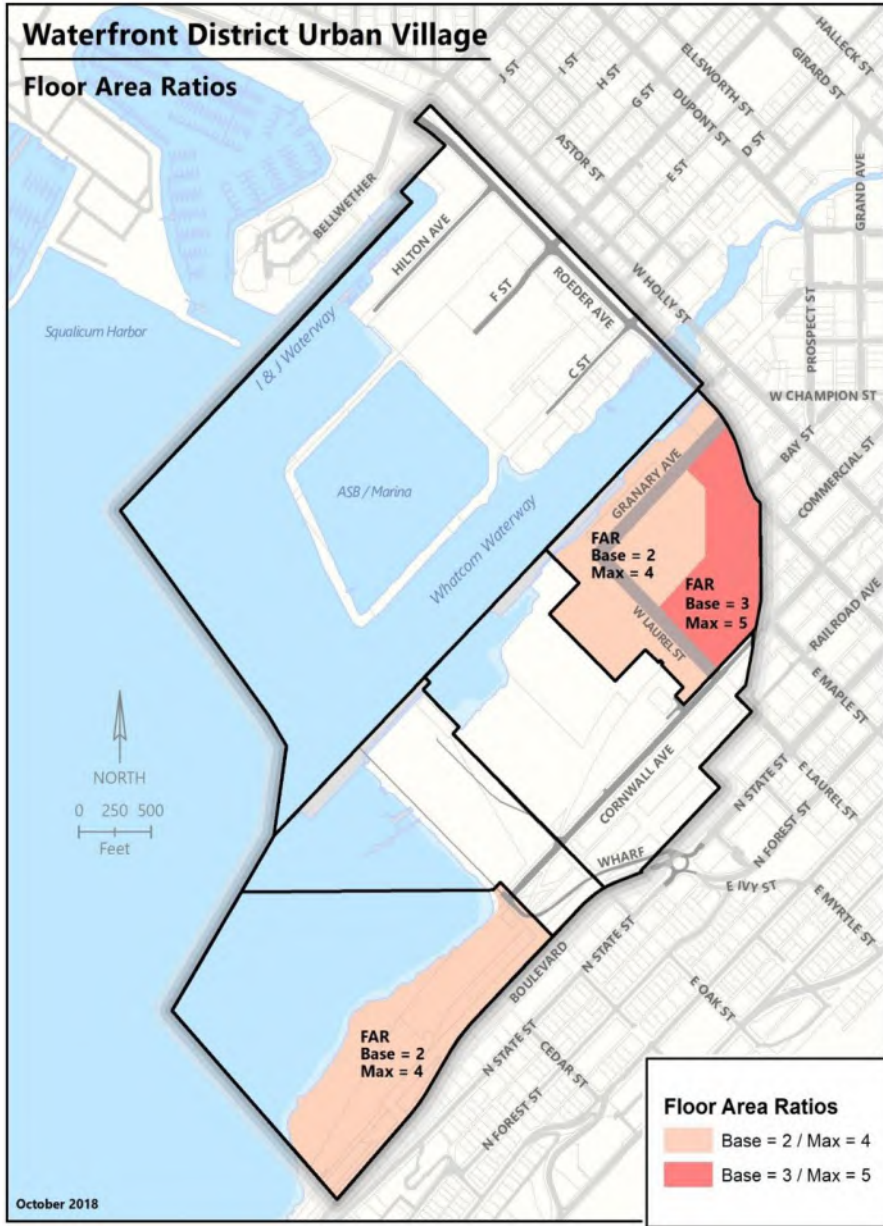


Figure 20.37.430-B Waterfront District Urban Village Floor Area Ratios

Table 20.37.430-A Summary of Floor Area Ratio Bonus Options

Bonus Option	Floor Area Bonus
Minimum LEED Platinum or Living Building Certification (or equivalent)	2.0 FAR bonus
Public Plazas and Open Spaces	Provide 1 square foot of public open space; receive 2.5 square feet of building space.
Affordable Housing	Provide 1 square foot; receive 4 square feet bonus
Minimum LEED Gold Certification (or equivalent)	1.0 FAR bonus
Minimum LEED Silver Certification (or equivalent)	0.5 FAR bonus
Lake Whatcom Watershed Property Acquisition Program	Receive 1 SF for each fee unit paid (see Lake Whatcom watershed acquisition fee schedule)

b. The maximum FAR increase that may be earned through the bonus options shall not exceed the maximum allowed FAR illustrated on Figure 20.37.430-B.

c. *Bonus Options.*

i. *Public Plazas and Open Spaces.* Floor area may be transferred to and from any property within the waterfront district when approved by the planning director, provided:

(A) The transferred floor area will result in the provision of a public plaza or open space to remain open to the public in accordance with park hours established in BMC [8.04.040](#).

(B) For each square foot of base FAR allowed by the development code transferred from an eligible site, two and one-half square feet of bonus floor area are earned on the receiving site(s) up to a maximum of 1.0 FAR per receiving site.

(C) The property owner(s) executes a covenant with the city that is attached to and recorded with the deed of both the site transferring and the site receiving the floor area reflecting the respective increase and decrease of potential floor area.

ii. *Affordable Housing.* Development which includes affordable owner-occupied housing or affordable renter-occupied housing which is ensured affordable for a period of not less than 50 years, or for a lesser period established in an adopted state or federal affordable housing finance and monitoring program, and documented through deed restriction and/or covenant, and where such units' affordability is ensured through enforcement and monitoring by a public agency.

(A) For each square foot of affordable housing, four square feet of bonus floor area are earned, up to a maximum of 0.5 FAR.

(B) "Affordable owner-occupied housing" means housing units sold at a price affordable to households earning no more than 100 percent of Bellingham's median household

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income as published annually by the U.S. Department of Housing and Urban Development (“HUD”).

(C) “Affordable renter-occupied housing” means housing units rented to households earning no more than 80 percent of Bellingham’s household income as published annually by HUD.

iii. *Leadership in Energy and Environmental Design (LEED) Certification or Living Building (or Equivalent)*. Buildings that incorporate sustainable design may receive a graduated (0.5 to 2.0) FAR bonus. To qualify for this bonus, the proposed project shall be certified by the planning director as a minimum LEED silver, gold, platinum or living building challenge certification (or equivalent).

iv. *Lake Whatcom Watershed Property Acquisition Program (LWWPAP)*. Contributors to the LWWPAP receive floor area bonuses when approved by the planning director, provided:

(A) Bonus floor area earned is paid for on a per square foot basis according to a fee schedule established by city council resolution.

(B) Floor area paid for and floor area earned is at a 1:1 ratio, such that for each square foot paid for, one square foot of floor area is earned on the receiving site up to a maximum 0.5 FAR bonus.

(C) The applicant must submit with the application for land use review a letter from the Bellingham finance department documenting the amount which will be contributed to the LWWPAP.

I. *Building Requirements for a Noise Level Reduction of 30 dB.*

1. *Applicability*. New development shall comply with the requirements of this section or BMC [20.25.080\(C\)\(1\)\(i\)](#) (Acoustical Site Planning).

2. *Compliance*. Compliance with this section shall be deemed to meet requirements for a minimum noise level reduction (NLR) of 30 decibels. The requirements of this section shall apply to the design of the exterior envelope of all buildings in the waterfront district area designed for residential occupancy.

3. *Exterior Walls*.

a. Exterior walls shall have a laboratory sound transmission class rating of at least STC-35.

Exception: Insulated walls that are constructed in accordance with the Washington State Energy Code and that have interior and exterior sheathing of not less than five-eighths-inch thick, or walls built in accordance with the following, shall be considered to meet the STC-35 requirements:

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i. *Masonry and concrete walls having a weight of at least 40 pounds per square foot.* These walls are not required to be furred out on the interior of the wall if at least one surface of the concrete block wall is plastered.

ii. Stud walls at least four inches in nominal depth shall be considered to meet the above requirements if built as defined below and to ASTM E497, Standard Practice for Installing Sound-Isolating Lightweight Partitions.

(A) The interior surface of the exterior walls shall be covered with gypsum board or plaster at least one-half-inch thick. If the exterior of the wall is stucco or brick veneer, the interior gypsum board or plaster may be fastened rigidly to the studs. If the exterior is of any other siding, the interior gypsum board or plaster shall be fastened resiliently to the studs.

(B) Insulation material at least R-19 or of a higher insulating value when required by the Washington State Energy Code shall be installed continuously throughout the cavity space, installed as specified in the Washington State Energy Code.

(C) The outside of the wall shall be covered with a continuous layer of composition board, plywood, gypsum board, or a combination of these materials that is not less than three-quarters-inch thick.

(D) Outside sheathing panels shall be covered with a layer of building paper, or equivalent, installed in accordance with the Washington State Building Code Act (Chapter [19.27](#) RCW).

(E) Siding shall be installed over the building paper.

#### 4. *Exterior Windows.*

a. Windows other than as described in this section shall have a laboratory sound transmission class rating of at least STC-33.

Exception: Windows meeting the criteria listed below shall be considered to meet the STC-33 requirement:

i. A window that is double-glazed with the glass at least one-eighth-inch thick with not less than a one-half-inch air space between the glass panels.

b. All windows shall be installed to meet the following requirements:

i. The glass shall be sealed into the frame in an airtight manner with a nonhardening sealant or a soft elastomer gasket, or gasket tape.

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ii. They shall be weather-stripped to conform to an air infiltration test not to exceed one-half cubic foot per minute per foot of crack length, in accordance with ASTM E-283-65-T.

iii. The perimeter of the window frames shall be sealed to the exterior wall construction in accordance with the Washington State Energy Code.

5. *Exterior Doors.*

a. Doors other than as described in this section shall have a laboratory sound transmission class rating of at least STC-33.

Exception: Doors meeting the following criteria shall be considered as meeting the STC-33 rating:

i. Double-door construction, where a minimum space between the double doors shall be not less than three inches, is required.

ii. At side-hinged doors, at least one of the doors shall be a solid-core wood, or insulated hollow metal, that is not less than one-and-three-quarters-inch thick at its thinnest point. The second door may be a storm door. Both doors shall meet all requirements of this section.

iii. Glass installed in a solid-core wood door, that has a total area of more than two square feet, shall be not less than three-sixteenths-inch thick.

iv. All glass and glazing shall be sealed in an airtight manner with a nonhardening sealant or in a soft elastomer gasket or glazing tape.

v. Exterior sliding glass doors shall be weather-stripped with an efficient airtight gasket system.

vi. The double sliding glass doors shall be double-glazed with a separation between glass panels of not less than one-half inch. The glass used in the double-glazed glass panels shall be of unequal thickness.

b. All doors shall be installed to meet the following requirements:

i. They shall be weather-stripped to conform to an air infiltration test not to exceed one-half cubic foot per minute per foot of crack length, in accordance with ASTM E-283-65-T.

ii. The perimeter of the doorframes shall be sealed to the exterior wall construction in accordance with the Washington State Energy Code.

6. *Roof/Ceiling.*

a. Combined roof and ceiling construction other than described in this section shall have a laboratory sound transmission class rating of at least STC-44.

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Exception: Roof-ceiling assemblies that are constructed in accordance with the Washington State Energy Code, and the following criteria, shall be considered to meet the STC-44 requirement:

- i. The roof deck shall be sheathed with not less than three-quarters-inch composition board, plywood or gypsum board sheathing, topped by roofing.
- ii. Ceiling insulation shall be not less than R-19, and not less than the minimum requirement of the Washington State Energy Code. The insulation shall be installed with not less than six inches average air space between the insulation and the roof deck.
- iii. Gypsum board or plaster ceilings shall be not less than five-eighths-inch thick.
- iv. The ceiling shall be substantially airtight with a minimum of penetrations. Lighting fixtures penetrating the ceiling assembly shall be in accordance with the requirements in the Washington State Energy Code. Other types of penetrations shall be treated in a similar manner to the requirements in the Washington State Energy Code. [Ord. 2019-12-040 §§ 14 – 18; Ord. 2018-12-036 § 38; Ord. 2013-12-090 § 10 (Exh. F)].

J. ~~Design Standards~~ Design review applies as outlined in Chapter 20.25 BMC and this subsection.

1. Purpose. This section is intended to implement the waterfront district subarea plan by:

- a. Creating a safe, vibrant mixed-use urban district which is welcoming to businesses, residents and visitors.
- b. Promoting diverse pedestrian and transit-oriented development at street level.
- c. Optimizing public access and views to and from the waterfront.
- d. Encouraging a variety of interesting design styles, features and amenities.
- e. Promoting sustainable design and development practices consistent with the LEED for Neighborhood Development program.

2. ~~Specific Standards~~ The following design standards shall be used in addition to the urban village design guidelines, standards, decision criteria, and departure provisions in BMC 20.25.020(C)(3). Should the provisions of this section conflict with any other provision in BMC 20.25.020(C)(3), the provisions of this section shall apply.

#### Site Design

a. Orientation to Streets, Parks and Trails.

- i. Intent. Reinforce pedestrian activity, orientation to ground floor activities and enhance the liveliness of the street and public spaces through building location and design.
- ii. Standard. Commercial buildings facing public streets or trails in commercial mixed use areas shall have entrances from the street or trail every 75 feet, on average.

**Commented [KJ2]:** Moved and amended to be consistent in location, format and language with all other UVs. Only Waterfront is different from other UVs because it had a specific "Purpose" section which was added.

**Commented [CD3]:** Moved from 20.25.080 A

b. Surface Parking

i. Intent. Ensure that surface parking lots are not a dominant element within the waterfront district and minimize the impact of surface parking on the pedestrian environment.

ii. Standard. Parking shall be located to the rear or side of buildings. Surface parking lots shall not be located at intersections nor include more than 120 feet of street frontage along any arterial street. Access should be from a local street or alley where feasible.

iii. Standard. Long-term off-street surface parking lots shall not be located adjacent to Granary Avenue or W. Laurel Street. Interim surface parking lots may be permitted along Granary Avenue and W. Laurel Street for up to 10 years on parcels intended for redevelopment.

c. Pedestrian Connectivity.

i. Intent. Create a network of safe, convenient and attractive off-street linkages for pedestrians.

ii. Standard. When a development encompasses a site greater than 240 feet wide or deep, incorporate pedestrian access through the site to connect to alleys, streets or neighboring properties. (See Figure ~~20.25.080(D)~~ 20.37.430-(C).)

**Commented [CD4]:** Urban village design review says every 350 feet. Relocated language from 20.25.080.

**Commented [GD5R4]:** Urban village standards specify minimum width of 20-feet. Fairhaven is a minimum of 15-feet.

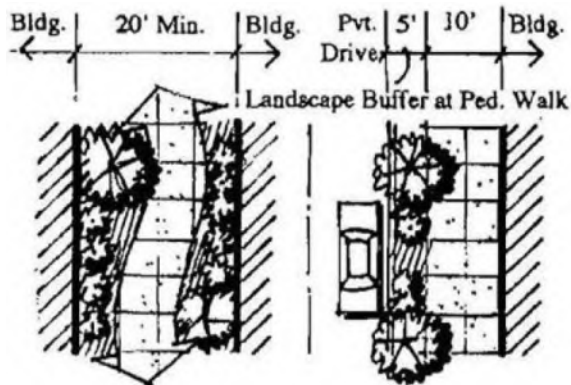


Figure 20.37.430(C) Pedestrian Connectivity

Building Design

a. Building Scale.

i. Intent. Establish a building scale consistent with a highly urban downtown context.

ii. Standards. (See Figure ~~20.25.080 (F)~~.)

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(A) Minimum building height within 15 feet of the street frontage of arterial streets in the commercial mixed-use subzone is 25 feet.

(B) Buildings within the commercial mixed-use sub-zone should have at least three (3) stories of occupied space in some portion of the building. This standard does not apply to buildings located within parks, view corridors or shoreline jurisdiction.

b. Massing and Articulation.

i. Intent. Reduce the apparent mass of large buildings to provide visual interest and pedestrian scale.

(A) Buildings over seven stories in height shall incorporate at least one setback above the third floor but below the eighth floor (see Figure 20.37.430 (D)), and shall incorporate features that create a visually distinct roof form. The following are examples of such features:

1. Terraced setbacks.
2. Pitched or curved roof elements.
3. Projecting cornice elements.
4. Trellises along the parapet.
5. Geometric forms.
6. Change of material or color on the top floor.

**Commented [GD6]:** This does not seem necessary in this context, especially with the ROW width that is present. Consistently provided with a departure in other urban villages.

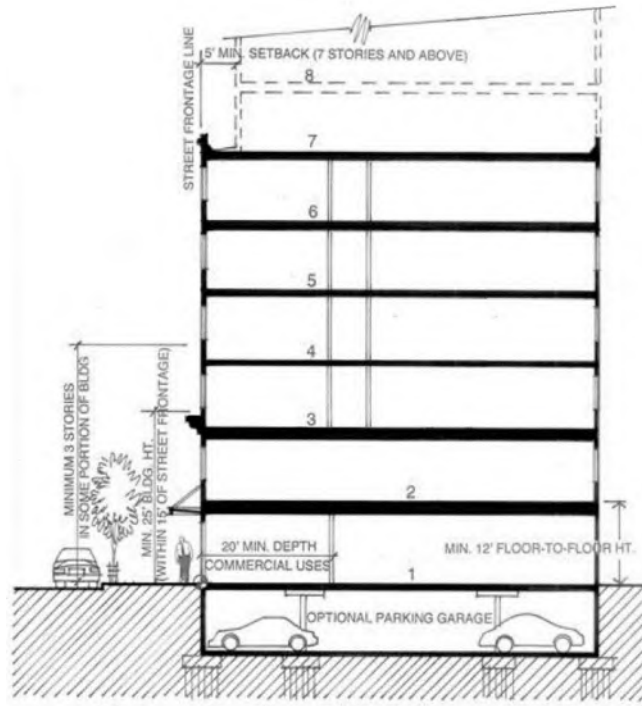


Figure 20.37.430(D) Massing and Articulation

(B) The street level floor of buildings within commercial mixed-use subzones shall have a minimum floor-to-floor height of 12 feet.

(C) The floor plate for any portion of a building exceeding 100 feet in height is limited to 14,000 square feet. (See Figure ~~20.25.080(H)~~ 20.37.430-(E).)

(D) Any portion of a building exceeding 100 feet must be located at least 100 feet from any portion of an existing or approved building face which exceeds 100 feet. (See Figure ~~20.25.080(H)~~ 20.37.430 (E)).)

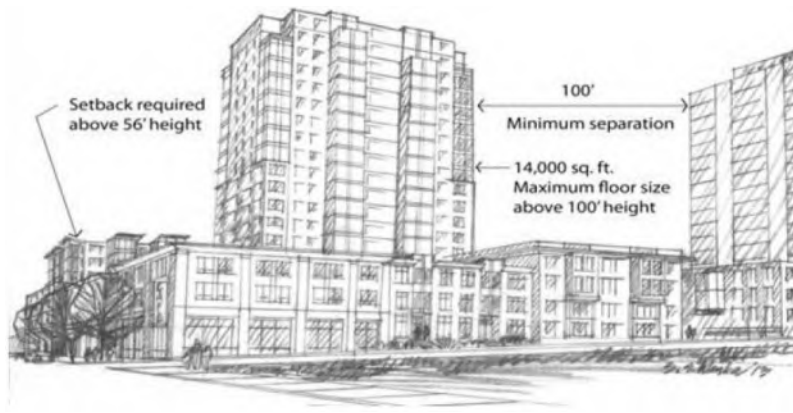


Figure ~~20.25.080(H)~~20.37.430-(F) Floor Plate Standards for Buildings Over 100 Feet Tall

d. Commercial Street Frontage Standard.

i. Intent. To encourage pedestrian-oriented activity at street level along arterial streets in the downtown waterfront area.

ii. Guideline-Standard. The front 20 feet of building space at sidewalk level along Granary Avenue and W. Laurel Street shall be designed for commercial or public uses, including retail, service, office, government, or similar nonresidential uses. Lobbies for residential uses and hotels and parking garage entries are exempt from this provision. Hotel guest rooms, dwelling units and structured parking garages shall not occupy street level building space fronting on Granary Avenue or W. Laurel Street.

**Commented [GD7]:** Consider a reduced area. Show on map as ped-oriented street.

**The Bellingham Municipal Code is current through Ordinance 2021-10-039, passed October 11, 2021.**

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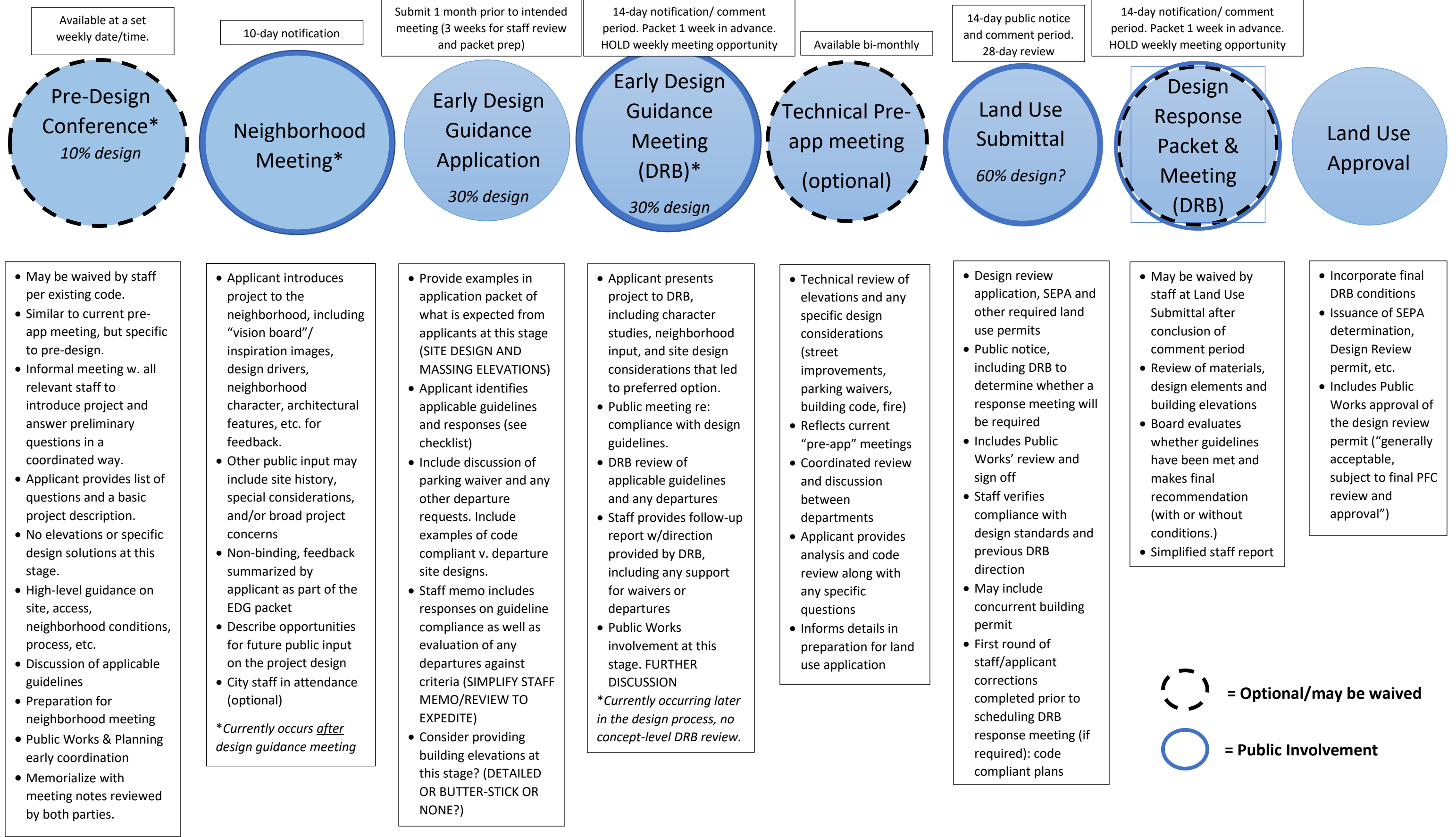
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Available at a set weekly date/time.

10-day notification

Submit 1 month prior to intended meeting (3 weeks for staff review and packet prep)

14-day notification/ comment period. Packet 1 week in advance. HOLD weekly meeting opportunity

Available bi-monthly

14-day public notice and comment period. 28-day review

14-day notification/ comment period. Packet 1 week in advance. HOLD weekly meeting opportunity

**Pre-Design Conference\***  
10% design

**Neighborhood Meeting\***

**Early Design Guidance Application**  
30% design

**Early Design Guidance Meeting (DRB)\***  
30% design

**Technical Pre-app meeting (optional)**

**Land Use Submittal**  
60% design?

**Design Response Packet & Meeting (DRB)**

**Land Use Approval**

- May be waived by staff per existing code.
- Similar to current pre-app meeting, but specific to pre-design.
- Informal meeting w. all relevant staff to introduce project and answer preliminary questions in a coordinated way.
- Applicant provides list of questions and a basic project description.
- No elevations or specific design solutions at this stage.
- High-level guidance on site, access, neighborhood conditions, process, etc.
- Discussion of applicable guidelines
- Preparation for neighborhood meeting
- Public Works & Planning early coordination
- Memorialize with meeting notes reviewed by both parties.

- Applicant introduces project to the neighborhood, including “vision board”/ inspiration images, design drivers, neighborhood character, architectural features, etc. for feedback.
  - Other public input may include site history, special considerations, and/or broad project concerns
  - Non-binding, feedback summarized by applicant as part of the EDG packet
  - Describe opportunities for future public input on the project design
  - City staff in attendance (optional)
- \*Currently occurs after design guidance meeting*

- Provide examples in application packet of what is expected from applicants at this stage (SITE DESIGN AND MASSING ELEVATIONS)
- Applicant identifies applicable guidelines and responses (see checklist)
- Include discussion of parking waiver and any other departure requests. Include examples of code compliant v. departure site designs.
- Staff memo includes responses on guideline compliance as well as evaluation of any departures against criteria (SIMPLIFY STAFF MEMO/REVIEW TO EXPEDITE)
- Consider providing building elevations at this stage? (DETAILED OR BUTTER-STICK OR NONE?)

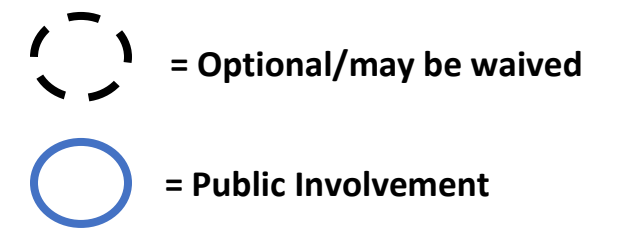
- Applicant presents project to DRB, including character studies, neighborhood input, and site design considerations that led to preferred option.
  - Public meeting re: compliance with design guidelines.
  - DRB review of applicable guidelines and any departures
  - Staff provides follow-up report w/direction provided by DRB, including any support for waivers or departures
  - Public Works involvement at this stage. FURTHER DISCUSSION
- \*Currently occurring later in the design process, no concept-level DRB review.*

- Technical review of elevations and any specific design considerations (street improvements, parking waivers, building code, fire)
- Reflects current “pre-app” meetings
- Coordinated review and discussion between departments
- Applicant provides analysis and code review along with any specific questions
- Informs details in preparation for land use application

- Design review application, SEPA and other required land use permits
- Public notice, including DRB to determine whether a response meeting will be required
- Includes Public Works’ review and sign off
- Staff verifies compliance with design standards and previous DRB direction
- May include concurrent building permit
- First round of staff/applicant corrections completed prior to scheduling DRB response meeting (if required): code compliant plans

- May be waived by staff at Land Use Submittal after conclusion of comment period
- Review of materials, design elements and building elevations
- Board evaluates whether guidelines have been met and makes final recommendation (with or without conditions.)
- Simplified staff report

- Incorporate final DRB conditions
- Issuance of SEPA determination, Design Review permit, etc.
- Includes Public Works approval of the design review permit (“generally acceptable, subject to final PFC review and approval”)



## 20.25.020 Applicability.

The following areas and developments are subject to design review under this chapter. No building ~~or sign~~ permit shall be issued for projects regulated under this chapter until design review approval has been issued unless the activity is exempt from design review under subsection (A) of this section. Buildings and activities which are exempt from the design review process shall comply with adopted site lighting standards regarding shielded outdoor lighting. The provisions of Chapter [20.14](#) BMC regarding nonconformance establish which of the standards and criteria in this chapter apply to developed sites. ~~In addition, some standards in this chapter specify the level of development that requires full compliance.~~

A. Exemptions. The following activities are exempt from design review:

1. Single-family detached dwelling units unless specified otherwise in an adopted urban village regulated under this chapter.
2. Single-family attached dwelling units consisting of less than three attached units and not located in an adopted urban village regulated under this chapter.
3. A duplex on a site that is not located in an adopted urban village regulated under this chapter.
4. Interior alterations that do not affect the exterior design of the building.
5. Any activity, ~~located outside the city-center design review district,~~ that requires a Certificate of Alteration or Certificate of Demolition for any historic resource individually listed ~~in~~ the Ceity of Bellingham's local register of historic places, or listed ~~in~~ the local register as a contributing property to a historic district, shall be processed pursuant to BMC [17.90.060](#).
6. Normal maintenance and repair.
7. Minor renovations, additions and exterior alterations to buildings and their associated site improvements, including electrical and mechanical equipment and accessory buildings, which the director determines will maintain or improve the architectural character of the building or site design, and will have minimal detrimental impact on adjacent uses.
8. Public infrastructure of permanent or temporary character such as bridges, viaducts, elevated ways, docks, piers, retaining walls, gates, fences, lamp standards, sculptures, bas-reliefs, monuments, fountains and playground equipment.
9. All signage, except that signage located in a residential multi land use designation shall comply with the requirements of the multifamily residential design handbook.
10. Restoration of any historic element of a building as approved by the planning and community development director.

11. Waterfront Design Review District: In the Waterfront Design Review District, development activities consisting of industrial, manufacturing and warehouse facilities (including boat servicing, repair and accessory offices), provided the buildings and facilities are set back at least 20 feet from adjacent arterial streets, trails or parks, and the street frontage, trail or park is buffered by landscaping.

**Commented [GD1]:** Adapted from the waterfront exemptions section deleted below.

However, design review approval shall be obtained if the use within the proposed building or facility includes retail, personal services, cultural or entertainment uses, or is located within 20 feet of an existing or proposed arterial street, trail, or park. In these situations, the director shall determine which requirement statements are applicable and which portions of the development are subject to review based on the context of the use district, the context of the street, trail or park frontage, and the type of development proposed.

**B. Multifamily Residential Projects and Mixed Uses in Residential Multi Zones.**

1. The following development activities shall obtain design review approval when located in any use district except within an urban village design district listed in subsections (C) ~~and (D)~~ of this section, institutional general use types that are governed by an adopted institutional master plan, or when exempt by subsection (A) of this section:

- a. Single-family attached residential development consisting of three or more attached units;
- b. Residential development consisting of three or more dwelling units on a site;
- c. Projects involving any use that is allowed as a “mixed use” by the use qualifier in residential multi zones;
- d. Accessory buildings for any of the developments listed above;
- e. Any additions or exterior alterations to buildings of the types listed above and/or to their associated site improvements. The design standards apply only to the proposed additions or alterations to the extent feasible while allowing the flexibility to accommodate the design of the existing improvements.

2. [NO CHANGES BEYOND THIS POINT]

~~C. Development in the Fairhaven Design Review District.~~

~~1. All development activities within the Fairhaven design review district (Figure 20.25.020(C)) shall obtain design review approval unless exempted by subsection (A) of this section.~~

~~2. The following activities shall be reviewed either by staff or the historic preservation commission as noted below:~~

~~a. Projects Subject to Review by the Historic Preservation Commission.~~

~~i. Within the Historic District:~~

~~(A) New buildings and developments.~~



~~b. Projects Subject to Staff Review:~~

~~i. Within the Historic District:~~

~~(A) Additions or exterior alterations to existing buildings and their associated site improvements.~~

~~ii. Within the Historic, Industrial and Maritime Influence Areas:~~

~~(A) New buildings and developments; and~~

~~(B) Additions or exterior alterations to existing buildings and their associated site improvements.~~

~~iii. The director may refer any project that is subject to staff review to the commission for a recommendation if staff has identified potential inconsistencies with the design standards.~~

~~c. An applicant may request an optional preapplication design guidance meeting with the historic preservation commission.~~

~~3. Decision Criteria. For projects located in the Fairhaven design review district, the director shall base his or her decision on consistency with the Fairhaven design standards as contained in the exhibit at the end of this chapter. If the project is located in a residential transition area, the standards of the multifamily residential design handbook shall also apply. If there is any conflict between these standards, the historic preservation commission and/or director shall apply the standard that would result in the best design, based on the context of the area in which the project is located and the policies in the applicable neighborhood plan.~~

~~Design standards:~~

~~Fairhaven Design Standards~~

~~20.25.020(C) Fairhaven Design Review District~~

~~CD. Development in the City-Center Design Review District and Other Urban Village Design Review Districts.~~

~~1. All development activities within the city-center design review district or an urban village design review district listed in Table 20.25.020 and shown on corresponding figures shall obtain design review approval unless exempted by subsection (A) of this section.~~

Table 20.25.020—

Urban Village Design Review District	Corresponding Figures
<del>City Center</del> <del>Downtown</del>	Figure 20.25.020( <del>CC</del> )(1) – <del>City Center</del> <del>Downtown</del> Design Review District
<del>Old Town</del>	Figure 20.25.020 (C)(2) – <del>Old Town Design Review District</del>
<del>Waterfront</del>	Figure 20.25.020 (C)(3 <del>2</del> ) – <del>Waterfront Design Review District</del>
<del>Fairhaven</del>	Figure 20.25.020(C)(4 <del>3</del> ) – <del>Fairhaven Design Review District</del>
Fountain District	Figure 20.25.020( <del>CD</del> )(542) – Fountain District Design Review District
Samish Way	Figure 20.25.020( <del>CD</del> )(653) – Samish Way Design Review District
<del>Barkley</del>	Figure 20.25.020(C)(76) – <del>Barkley Design Review District</del>

2. The following projects shall be reviewed ~~either by staff, the design review board or the historic preservation commission~~ as noted below:

a. *Projects Subject to Review by the Design Review Board.*

i. New buildings and developments.

b. *Projects Subject to Review by the Historic Preservation Commission.*

ii. Additions and exterior alterations to buildings and associated site improvements if they are ~~in~~ the ~~C~~eity of Bellingham ~~local~~ register of historic places ~~or local historic district~~. If a ~~C~~ertificate of ~~A~~alteration is required under BMC 17.90.060, the commission’s decision regarding the ~~C~~ertificate of ~~A~~alteration shall be incorporated into the design review decision by the director.

c. *Projects Subject to Staff Review.*

i. Additions or exterior alterations to existing buildings and their associated site improvements unless the building is on the ~~e~~City of Bellingham ~~local~~ register of historic places ~~or within an established local historic district~~.

ii. The director may refer any project subject to staff review to the ~~applicable~~ design review board or historic preservation commission for a recommendation if staff has identified potential inconsistencies with the design standards.

d. An applicant may request an optional preapplication design guidance meeting with the ~~applicable~~ design review board or historic preservation commission.

3. Decision criteria within urban village design review districts. ~~a. City Center Design Review District. For projects located in the city center design review district, the director shall base his or her decision on consistency with the urban village design guidelines as contained in the exhibit at the end of this chapter.~~

~~and the design standards below as well as those listed in the specific development regulations for each urban village, city center design standards as contained in the exhibit at the end of this chapter.~~

Design standards:

#### City Center Design Standards

~~b. *Urban Village Design Districts.* For projects located in the Fountain District and Samish Wayan Urban Village Design review Districts, the director shall base his or her/their decision on consistency with the urban village design guidelines shown at in the exhibit at the end of this chapter below, and the urban village design standards in BMC 20.25.070, as well as and any specific design standards within listed in the development regulations for each urban village.~~

#### Urban Village Design Guidelines

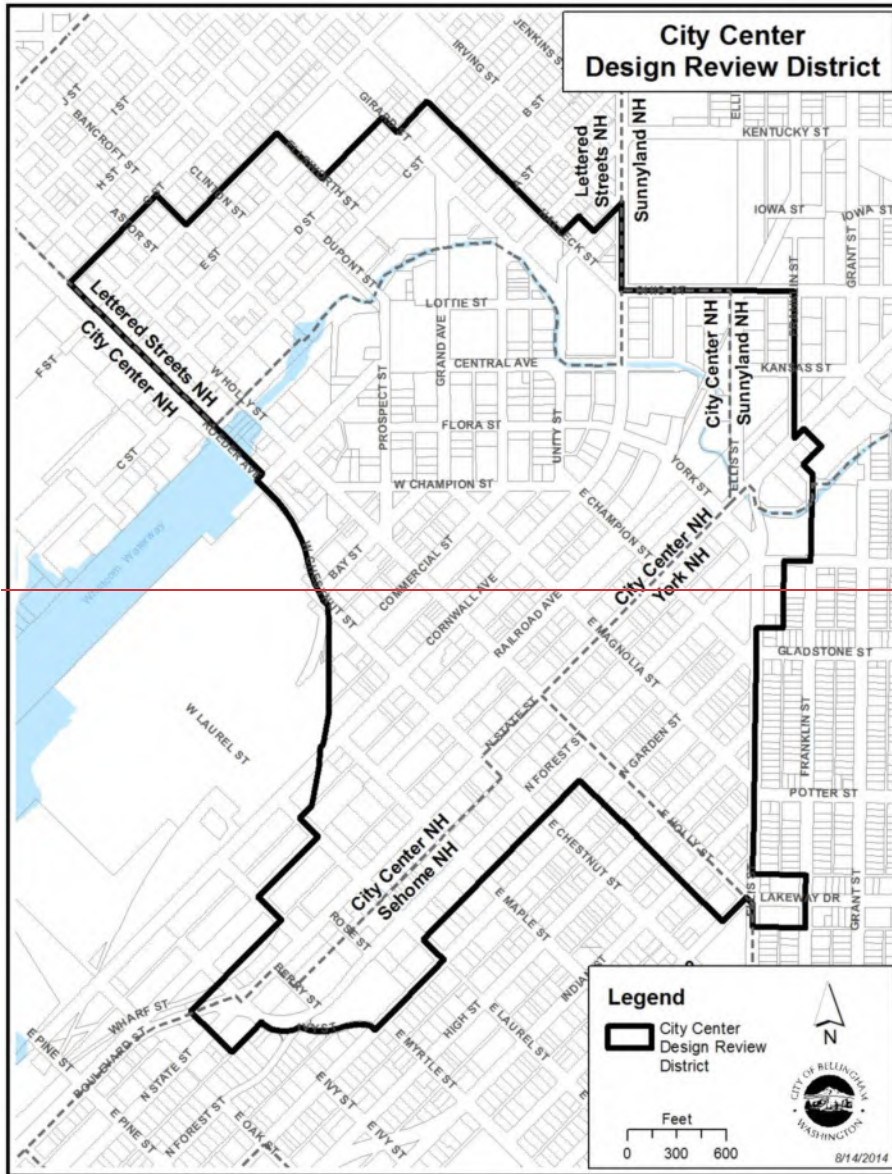
Commented [GD2]: Add link

~~a. *Residential Transition Areas.* If the project is located in an urban village residential general-use typetransition area, the standards of the multifamily residential design handbook shall also apply. If there is any conflict between these standards, the design review board and/or director shall apply the standard that would result in the best design, based on the context of the area in which the project is located and the policies in the applicable neighborhood plan.~~

~~b. *Large retail establishments.* Large retail establishments shall also comply with the standards in subsection (D) of this section when located in an urban village other than the City Center, Waterfront, or Fairhaven Districts. If there is any conflict between these standards, the design review board and/or director shall apply the standard that would result in the best design based on the context of the area in which the project is located and the policies in the applicable urban village plan~~

~~c. *Historic Preservation.* If there is any conflict between the standards in subsections (CD)(3)(a) and (b) of this section and the standards in Chapter 17.90 BMC, Historic Preservation, the historic preservation standards shall prevail.~~

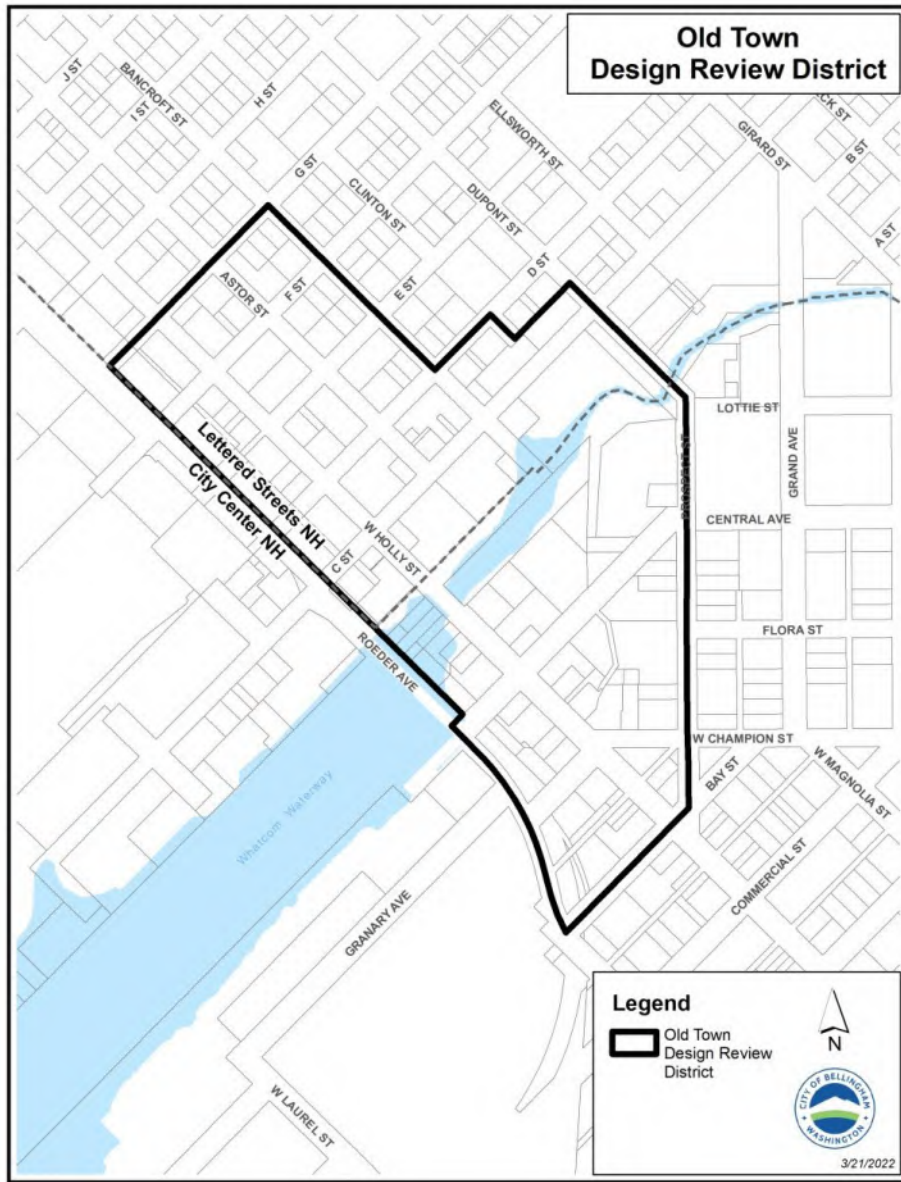
Figure 20.25.020(CD)(1) – ~~City Center~~Downtown Design Review District



The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.

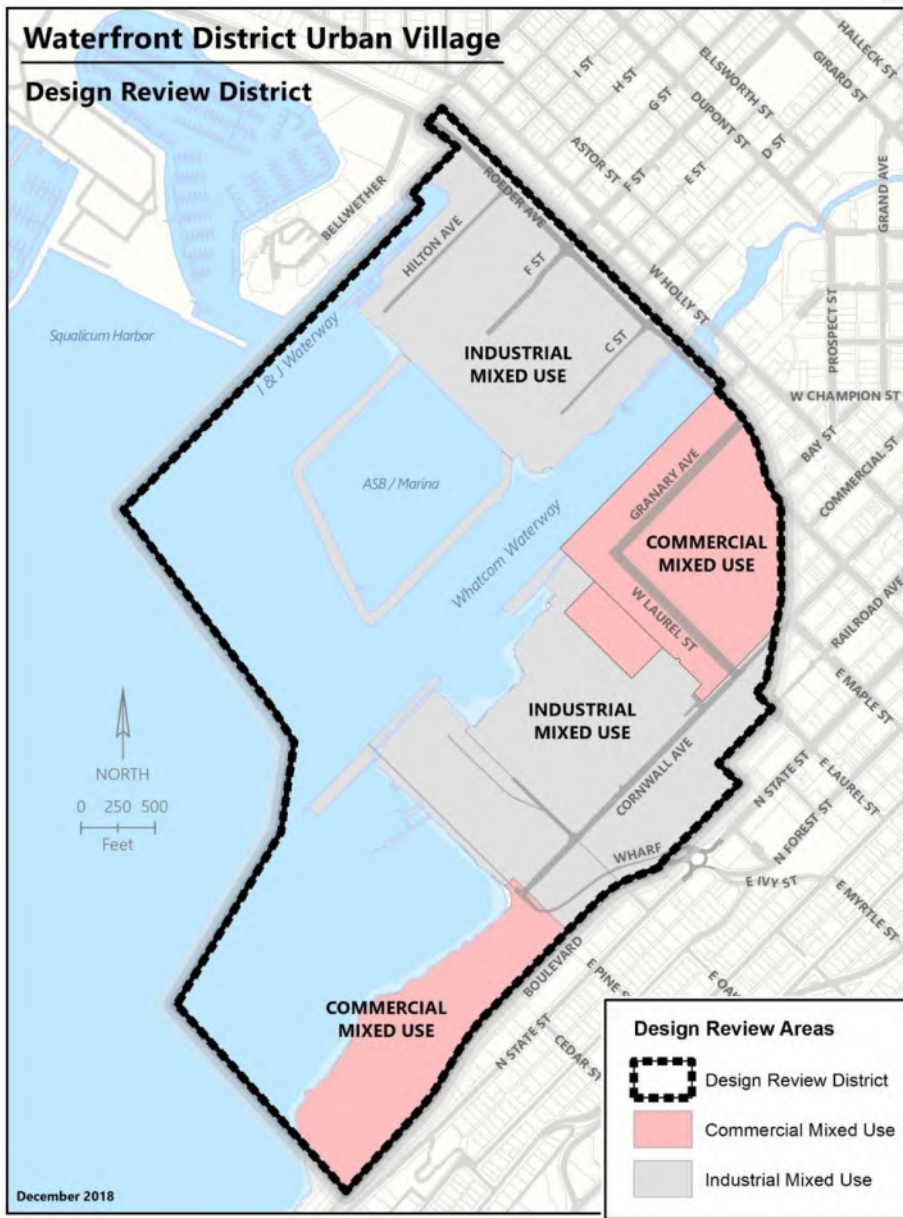


Figure 20.25.020 (C)(2) – Old Town Design Review District



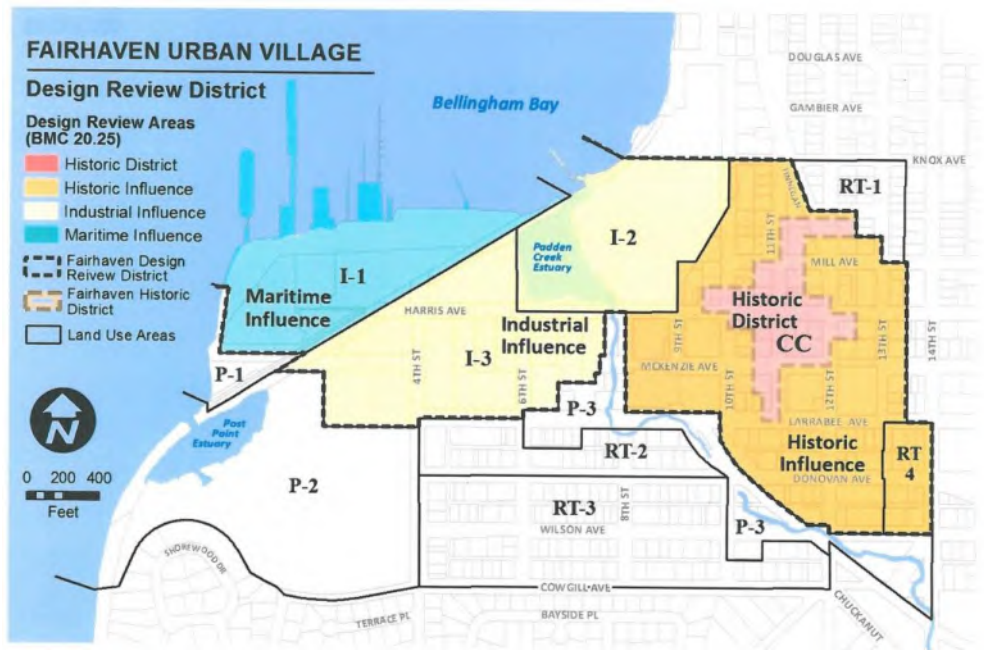
The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.

Figure 20.25.020(CD)(32) – Waterfront Design Review District



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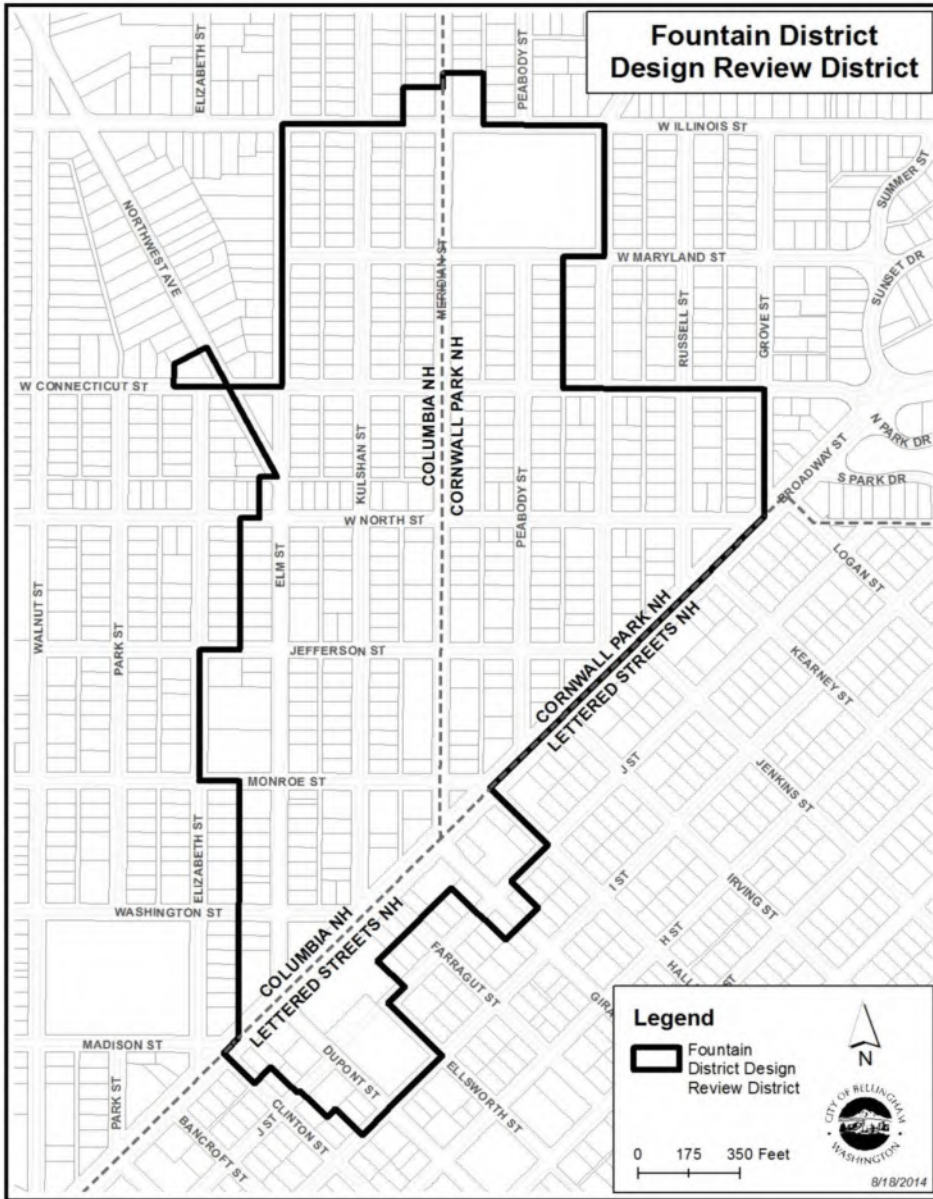
Figure 20.25.020 (C)(4) - Fairhaven Design Review District



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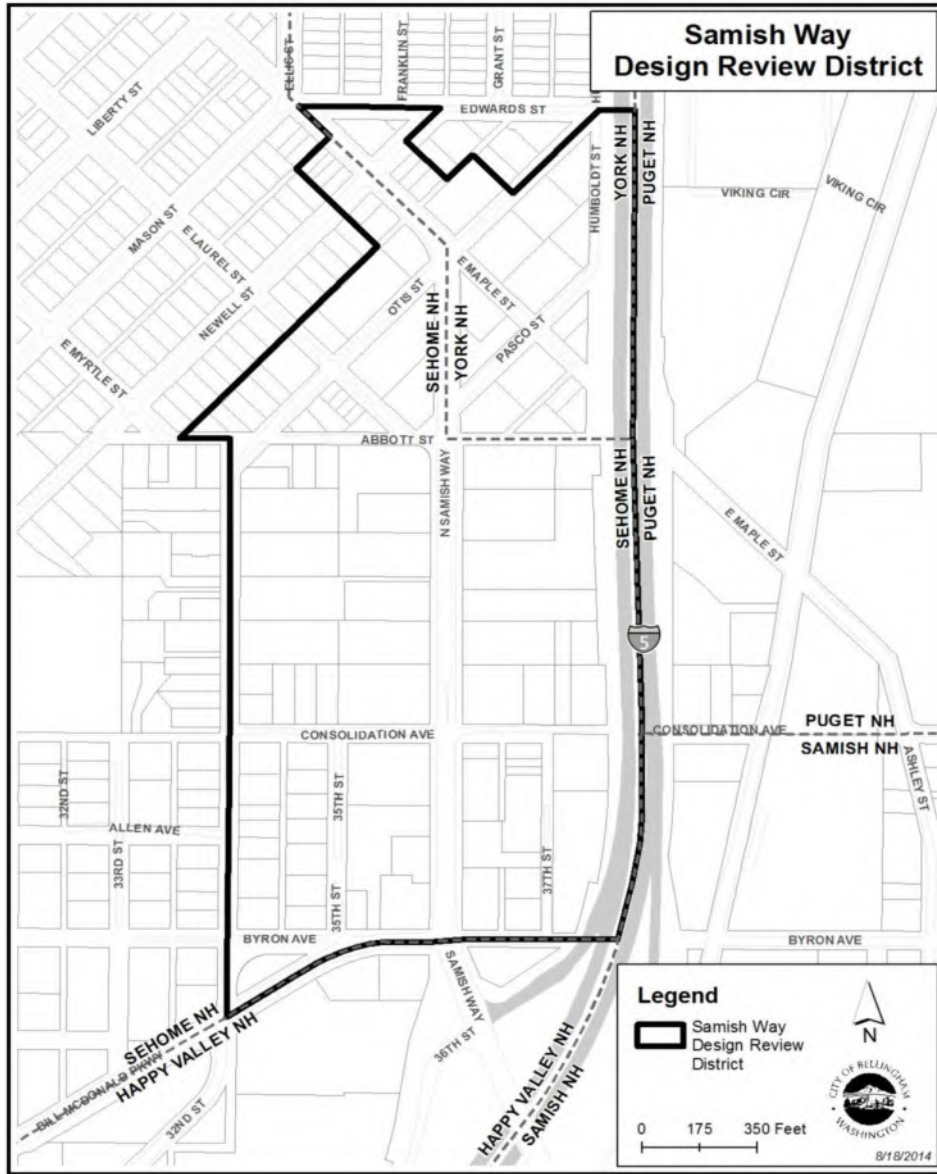


Figure 20.25.020 (C)(35) - Fountain District Design Review District



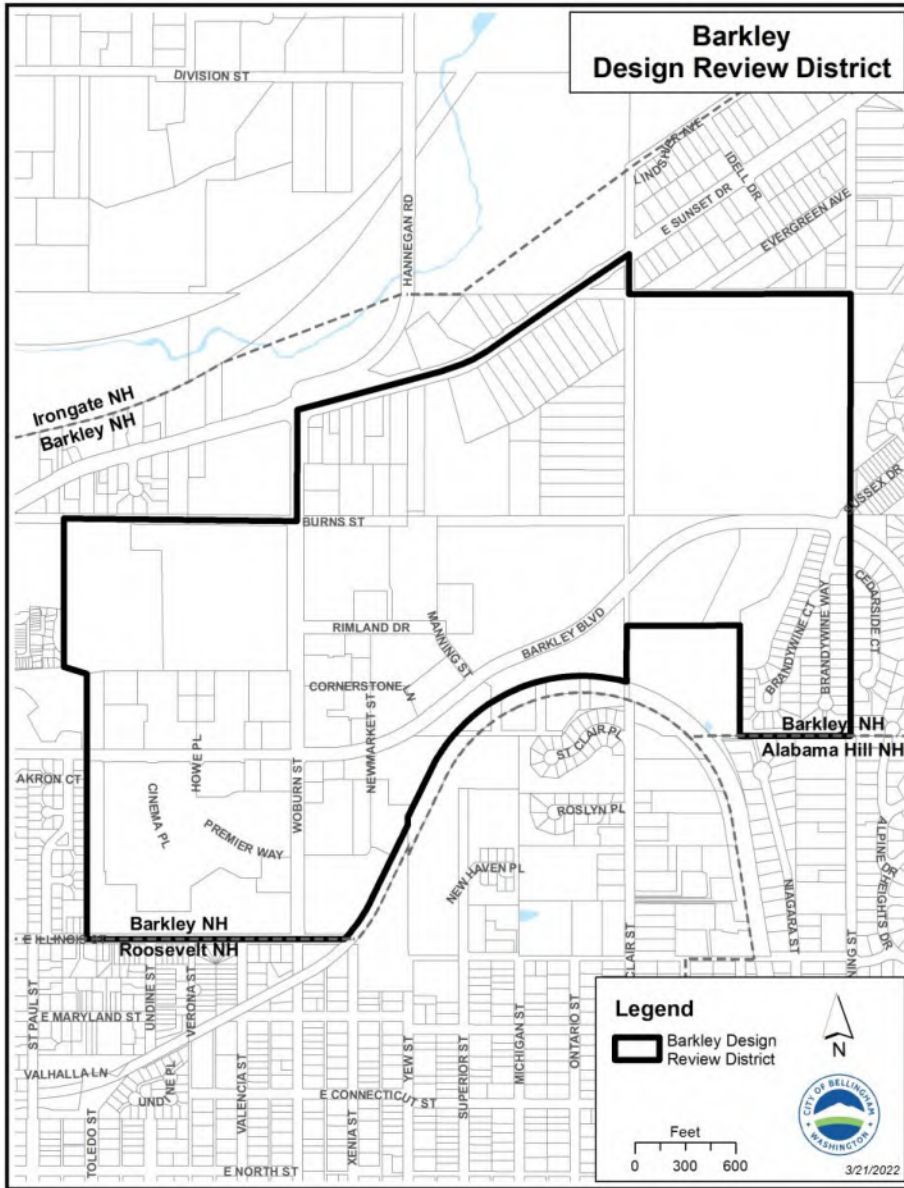
The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.

Figure 20.25.020(C)(63) – Samish Way Design Review District



The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.

Figure 20.25.020(C)(57) – Barkley Design Review District



The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.

**DE. Large Retail Establishments.**

1. All development activities for a large retail establishment as defined in subsection **(DE)(2)** of this section shall obtain design review approval unless exempt by subsection **(A)** of this section.
2. A “large retail establishment” means an individual retail user that exceeds 60,000 square feet of gross floor area, including but not limited to membership warehouse clubs, discount stores, specialized product stores and department stores. For the purpose of this definition, gross floor area shall consist of the sum of the gross horizontal areas of all floors within the inside perimeter of the exterior walls of the structure or tenant space and roofed or partially walled outdoor areas reserved for the display, storage, or sale of merchandise, including accessory uses inside the primary retail establishment. Structured parking is excluded. The gross floor area of adjacent stores shall be aggregated in cases where the stores (a) are engaged in the selling of similar or related merchandise and operate under common ownership or management; (b) share check stands, a warehouse, or a distribution facility; or (c) otherwise operate as associated, integrated or cooperative business enterprises.
3. Development activities listed in subsection **(DE)(1)** of this section shall be reviewed either by staff or the design review board as noted below:
  - a. Development activities listed in subsection **(DE)(1)** of this section shall be reviewed by staff.
  - b. The director may refer any project to the applicable design review board for a recommendation if staff has identified potential inconsistencies with the design standards.
  - c. An applicant may request an optional preapplication design guidance meeting with the design review board.
4. *Decision Criteria.* For projects listed in this subsection **(DE)**, Large Retail Establishments, the director shall base ~~his or her~~**their** decision on consistency with the standards in BMC **20.25.060** unless the proposal is located in ~~the city center design review district, Fairhaven design review district, or the waterfront design review district~~**an urban village design review district**, in which case the ~~standards of those districts~~**design review board and/or planning director shall determine which standard(s) apply.**

~~**F. Development in the Waterfront Design Review District.**~~

~~**1. Commercial Mixed-Use Land Use Areas.** All development activities within commercial mixed-use land use areas of the waterfront design review district (Figure 20.25.020(F)) shall obtain design review approval unless exempted under subsection **(A)** of this section, or the following:~~

~~**a. Industrial, manufacturing and warehouse facilities, including boat servicing, repair and accessory offices located within the industrial mixed-use land use area, provided the buildings are set back at least 20 feet from adjacent arterial streets, trails, or parks, and the street frontage, trail or park is buffered by landscaping.**~~

~~2.—Industrial Mixed-Use Land Use Area. New construction within the industrial mixed-use land use area is subject to design review if the uses within the proposed building or facility include retail, personal services, cultural or entertainment uses, or if the building is located within 20 feet of an existing or proposed arterial street or park. In these situations the director shall determine which requirement statements are applicable and which portions of the development are subject to review based on the context of the use district, the context of the street or park frontage, and the type of development proposed. Activities exempt from design review are those specified in subsections (A) and (F)(1)(a) of this section.~~

~~3.—The following projects shall be reviewed either by staff, the design review board or the historic preservation commission as noted below:~~

~~a.—Projects Subject to Review by the Design Review Board.~~

~~i.—New buildings and developments.~~

~~b.—Projects Subject to Review by the Historic Preservation Commission.~~

~~i.—Additions and exterior alterations to buildings on the city of Bellingham register of historic places. If a certificate of alteration is required under BMC 17.90.060, the commission's decision regarding the certificate of alteration shall be incorporated into the design review decision by the director.~~

~~c.—Projects Subject to Staff Review.~~

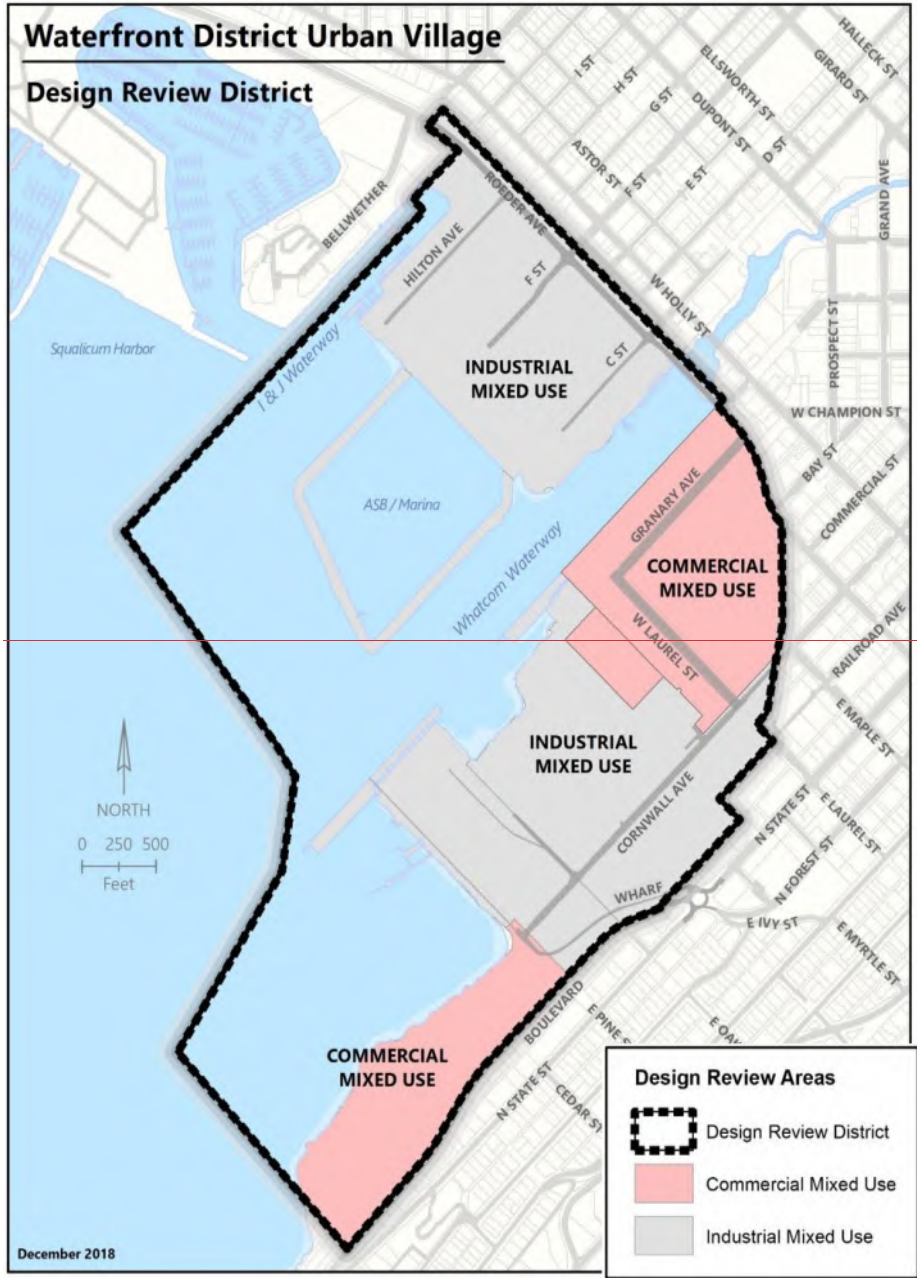
~~i.—Additions or exterior alterations to existing buildings and their associated site improvements, unless the building is on the city of Bellingham register of historic places.~~

~~ii.—The director may refer any project subject to staff review to the applicable design review board or historic preservation commission for a recommendation if staff has identified potential inconsistencies with the design standards.~~

~~d.—An applicant may request an optional preapplication design guidance meeting with the applicable design review board or historic preservation commission.~~

~~4.—Decision Criteria. For projects listed in this subsection (F), Development in the Waterfront Design Review District, the director shall base his or her decision on consistency with the waterfront urban village design guidelines and standards in BMC 20.25.080. If there is any conflict between these standards and the standards in Chapter 17.90 BMC, Historic Preservation Ordinance, the historic preservation standards shall prevail.~~

Figure 20.25.020(F) — Waterfront Design Review District



The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.

**EFG. Commercial Development.**

1. All development activities within commercial zones, and all commercial development activities within any other zoning designation, shall obtain design review approval in accordance with this subsection except as follows:
  - a. Development within an urban village ~~or~~ design district listed in subsections [\(C\)](#), ~~(D)~~, and ~~(F)~~ of this section; or
  - b. When exempt by subsection [\(A\)](#) of this section.
2. Commercial development activities within noncommercial zoning designations include, but are not limited to, retail, office, personal or professional services, eating and drinking establishments and other similar uses as determined by the director.
3. The following development activities listed shall be reviewed by staff, the design review board, or the historic preservation commission as noted below:
  - a. *Projects Subject to Staff Review.*
    - i. New buildings and developments.
    - ii. Additions or exterior alterations to existing buildings and their associated site improvements unless the building is on the city of Bellingham register of historic places.
    - iii. The director may refer any project subject to staff review to the applicable design review board or historic preservation commission for a recommendation if staff has identified potential inconsistencies with the design standards.
  - b. *Projects Subject to Review by the Historic Preservation Commission.*
    - i. Additions and exterior alterations to buildings and associated site improvements if they are on the city of Bellingham register of historic places or within a registered local Historic District. If a certificate of alteration is required under BMC [17.90.060](#), the commission's decision regarding the certificate of alteration shall be incorporated into the design review decision by the director.
    - c. An applicant may request an optional preapplication design guidance meeting with the applicable design review board or historic preservation commission.
4. *Decision Criteria.* For projects listed in this subsection (**EFG**), the director shall base their decision on consistency with the commercial development guidelines and standards in BMC [20.25.090](#) and the following:

a. When any commercial use listed in this subsection (EFG) is part of a mixed-use development, the director shall determine which design standards are applicable and which portions of the development are subject to design review based on the context of the use district and the type of development proposed. If there is any conflict on a project with multiple applicable design standards, the director shall apply the standard that would result in the best design, based on the context of the area in which the project is located and the policies in the applicable neighborhood plan.

b. Commercial development in the following neighborhoods has additional design standards in the zoning tables which must be consulted in addition to the standards stated herein. Wherever there are conflicting standards, the director shall apply the standard that would result in the best design, based on the context of the area in which the project is located and the policies in the applicable neighborhood plan.

Table 20.25.020(EFG) —

Neighborhood	Commercial Design Standards
Barkley	Barkley urban village design guidelines for Areas 13, 14, 15, 16, 17, 18, 19, and 20 and design standards for Area 27
Cordata	Cordata design review (where applicable)
Happy Valley	Neighborhood commercial and mixed use design criteria for Areas 1A, 1B, 1C, 2B, 3, 4, and 14
Meridian	Meridian design standards for Areas 3, 4, 5, 6, 7, and 8 and Meridian commercial district development guidelines
Roosevelt	Roosevelt Area 16 development standards

[Ord. 2019-12-040 §§ 7, 8; Ord. 2018-06-011 § 4; Ord. 2015-01-001 § 4 (Exh. A)]. **The Bellingham Municipal Code is current through Ordinance 2020-03-009, passed March 23, 2020.**

Disclaimer: The City Clerk Representative has the official version of the Bellingham Municipal Code. Users should contact the City Clerk Representative for ordinances passed subsequent to the ordinance cited above.

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## Chapter 2.55 DESIGN REVIEW BOARD

Sections:

- 2.55.010 Created – Membership.
- 2.55.020 Composition.
- 2.55.030 Organization – Meetings – Rules.
- 2.55.040 Powers and duties.

### 2.55.010 Created – Membership.

There is created a design review board with members appointed and serving in accordance with Bellingham City Charter Section 7.01. The board shall have the duties and responsibilities set forth in this chapter and such other duties as are set by city ordinance. [Ord. 2006-06-061].

### 2.55.020 Composition.

A. The board shall consist of five members, all of whom shall serve without compensation. No member of the board shall be an elected city official or a city employee. The members shall be appointed by the mayor and such appointment shall be confirmed by the city council. Of the members first appointed, one shall be appointed for one year, two shall be appointed for two years, one shall be appointed for three years, one shall be appointed for four years. Thereafter, the term of office shall be four years for all members. Board members may be reappointed.

B. Members of the design review board shall include design professionals, building/construction experts, or other individuals capable of reading and understanding architectural plans and knowledgeable in matters of building and design. At least three members shall be professionals from architecture, landscape architecture, urban design/planning, or similar disciplines. One member shall represent historic preservation design review or similar experience. At least one member shall represent the community at large and not be from the above listed professions. In place of the requirements in BMC [3.08.010](#), preference will be given to applicants who are residents of the city, but residency is not required.

C. Members may be removed by the mayor, subject to approval by a two-thirds majority vote of the city council for failure to regularly attend meetings, misconduct in office or such causes as he or she shall deem sufficient. The board shall recommend removal if the absences have negatively affected the board's abilities to perform its duties. The recommendation will be forwarded to city council. Members finding themselves unable to attend regular meetings are expected to tender their resignations. [Ord. 2018-03-006 § 9; Ord. 2006-06-061].

### 2.55.030 Organization – Meetings – Rules.

- A. The design review board may make rules and regulations to carry out its responsibilities. Such rules or regulations shall be consistent with all city ordinances and other laws and statutes.
- B. The design review board shall elect a chairperson and vice-chairperson from its members.
- C. The presence of a majority of the members shall constitute a quorum; provided, that at least two of the members present shall be professionals from architecture, landscape architecture, urban design/planning, historic preservation, or similar disciplines.
- D. Decisions of the board shall require the affirmative vote of at least a majority of the members present, provided (1) there is a quorum, without which the meeting shall not proceed, and (2) there is a quorum at the time the decision is made. [Ord. 2006-06-061].

### 2.55.040 Powers and duties.

The design review board shall have the responsibilities designated in the Bellingham Municipal Code. In addition, the design review board shall perform such advisory functions related to design issues as designated by the mayor or city council. [Ord. 2006-06-061].

**The Bellingham Municipal Code is current through Ordinance 2022-02-007, passed February 28, 2022.**

Disclaimer: Users should contact the Deputy City Clerk for ordinances passed subsequent to the ordinance cited above.

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