



City Council Agenda Bill

20337

Bill Number

Subject: Closed record hearing and consideration of an ordinance for Kulshan Community Land Trust (KCLT) to use the Demonstration Program for Innovative Permanently Affordable Homeownership (Program) code to build three affordable homes

Summary Statement: KCLT has applied to use the Program, Bellingham Municipal Code (BMC) Chapter 20.27, to increase the allowed density of a property at 2939 Lafayette Street by 50%. The proposal includes a three lot short plat and construction of permanently affordable homes in the form of two attached single family units and a detached single family unit. The Planning Director has approved a multifamily design review permit for the proposed building design. The Hearing Examiner held a public hearing on 2/12/14 and recommended approval of the ordinance with conditions.

Previous Council Action: None

Fiscal Impact: Proposal is part of regular staff work. Potential for increase in City revenue through development fees. The City has allocated \$77,527 of federal HOME Investment Partnership funds for this project.

Funding Source: General fund for staff time and federal HOME Investment Partnership funds

- Attachments:**
- Attachment A - Ordinance
 - Attachment B - Hearing Examiner Findings of Fact, Conclusion of Law and Recommendation
 - Attachment C - Hearing Examiner Staff Report
 - Attachment D - Hearing Examiner Meeting Minutes

Meeting Activity	Meeting Date	Staff Recommendation	Presented By	Time
Closed Record Hearing	3/10/2014	Pass Ordinance	Lindsay Kershner, Planning and Community Development	5 minutes

Recommended Motion: .

Council Committee:

Agenda Bill Contact:

Lindsay Kershner, Planning and Community Development, 360-778-8369

Reviewed By	Department	Date
<i>Jeffrey B. Thomas</i>	Planning	02/28/2014
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<i>Amy B. Kraham</i>	Legal	03/03/2014
<i>Kelli J. Linville</i>	Executive	03/04/2014

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ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF BELLINGHAM APPROVING A DEMONSTRATION PROGRAM PROPOSAL FOR KULSHAN COMMUNITY LAND TRUST (KCLT) THAT WILL PROVIDE THREE DWELLING UNITS WITH PERMANENTLY AFFORDABLE HOMEOWNERSHIP CONSISTENT WITH CHAPTER 20.27 OF THE BELLINGHAM MUNICIPAL CODE.

WHEREAS, Bellingham Municipal Code (BMC) Chapter 20.27, the Demonstration Program, was adopted in November 2004, to offer opportunities for organizations to provide innovative permanently affordable homeownership in the City of Bellingham; and

WHEREAS, this section of the BMC allows the use of alternative development standards to facilitate the construction of innovative owner-occupied affordable homes if an organization can demonstrate the ability to finance, manage, and monitor affordable home sales to assure permanent affordability; and

WHEREAS, KCLT is a non-profit organization that is experienced in providing permanent owner-occupied affordable homeownership in the community since 1999; and

WHEREAS, on August 29, 2013, KCLT held a neighborhood meeting at Shuksan Middle School regarding their Demonstration Program proposal; and

WHEREAS, under the Demonstration Program, KCLT submitted applications for a three-lot short subdivision, Design Review, and Planned Development to build three permanently affordable owner-occupied dwelling units; and

WHEREAS, included in the applications and in accordance with BMC 20.27.030 H., KCLT has requested to have the transportation impact, school impact, and stormwater fees waived by City Council; and

WHEREAS, the city has allocated \$77,527 of federal HOME Investment Partnership funds for this project, and

WHEREAS, on February 5, 2014, the Planning and Community Development Department approved a design review permit with conditions for the three housing units proposed by KCLT, subject to City Council approving an ordinance under BMC 20.27; and

WHEREAS, after mailed and published notice as required by BMC Chapter 20.27, the Hearing Examiner held a public hearing and received public testimony on February 12, 2014 regarding KCLT's Demonstration Program proposal; and

WHEREAS, based on the hearing and the written record, the Hearing Examiner adopted Findings of Fact, Conclusions of Law, and Recommendations (HE-14-PL-003) and

1 recommended the City Council approve KCLT's Demonstration Program proposal with
2 certain conditions; and
3

4 **WHEREAS**, the Hearing Examiner recommended the City Council deny KCLT's request
5 to waive the transportation impact, school impact, and stormwater fees, because the fees
6 are eligible for reimbursement through the federal HOME Investment Partnership which
7 have been allocated for this project by the City; and
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9 **WHEREAS**, on March 10, 2014, the City Council held a closed record hearing to
10 consider KCLT's proposed Demonstration Program proposal and the Hearing Examiner's
11 Findings of Fact, Conclusions of Law, and Recommendations; and
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13 **WHEREAS**, the City Council found that the KCLT Demonstration Program proposal is
14 consistent with the Bellingham Comprehensive Plan and meets the criteria under BMC
15 Chapter 20.27, and hereby approves KCLT's Demonstration Program proposal, and
16 denies KCLT's request to waive the transportation impact, school impact, and stormwater
17 fees, by a vote of ().
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19 **NOW THEREFORE, THE CITY OF BELLINGHAM DOES ORDAIN:**
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21 **Section 1.** The City Council adopts the Hearing Examiner's Findings of Fact,
22 Conclusions of Law, and Recommendations (HE-14-PL-003), as shown in
23 Attachment B and incorporated by reference, as the final decision of the
24 City.
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26 **Section 2.** KCLT's three unit permanently affordable housing project is approved as
27 conditioned in the Hearing Examiner's Findings of Fact, Conclusions of
28 Law, and Recommendations (HE-14-PL-003).
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33 **PASSED** by the Council this ____ day of _____, 2014
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37 Council President
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40 **APPROVED** by me this ____ day of _____, 2014
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ATTEST: _____

Finance Director

APPROVED AS TO FORM:

Office of the City Attorney

Published: _____

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THE HEARING EXAMINER OF THE CITY OF BELLINGHAM
WHATCOM COUNTY, WASHINGTON

<p>IN RE:</p> <p>KULSHAN COMMUNITY LAND TRUST, Applicant 2939 Lafayette Street</p> <p>SUB2013-00029, PCD2013-00011 and DRC2013-00017 / Demonstration Program and Short Plat</p>	<p>HE-14-PL-003</p> <p>FINDINGS OF FACT CONCLUSIONS OF LAW AND RECOMMENDATION</p> <p>DAWN STURWOLD, HEARING EXAMINER</p>
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THIS MATTER came before the Bellingham Hearing Examiner for hearing on the 12th day of February 2014 on the application of Kulshan Community Land Trust (KCLT) for approval of a project pursuant to the Demonstration Program for Innovative Permanently Affordable Home Ownership and a three-lot short plat for property located at 2939 Lafayette Street.

Testimony was received from Lindsay Kershner and Kurt Nabbefeld, Bellingham Planning and Community Development Department; Dean Fearing, Executive Director of KCLT; Elizabeth Li, 114 W. Magnolia Street, Ste. 406; and Kurt Baumgarten, 2807 Patton Street.

In addition to the Bellingham Municipal Code and Comprehensive Plan, the following documents were considered as part of the record: See *Exhibit List*.

1 I. FINDINGS OF FACT

2 1. Kulshan Community Land Trust (KCLT) filed an application for approval of a
3 project pursuant to the Demonstration Program for Innovative Permanently Affordable
4 Home Ownership and a three-lot short plat for property it owns at 2939 Lafayette
5 Street.

6 2. The subject property is legally described as Lots 9 and 10, Block 10, Eldridge's
7 2nd Add. To Bellingham. It is located in Area 14 of the Birchwood Neighborhood and
8 is designated Residential Multi, Duplex, 4,000 square feet minimum lot size.

9 3. The property is located on the southwest corner of Lafayette and W. Indiana
10 Streets. It currently is occupied by a single-family residence and a garage. These
11 structures will be removed prior to the proposed development.

12 4. The property contains 8,960 square feet and is generally flat. It abuts the
13 Lafayette Street right-of-way which is unimproved except for a pedestrian trail.

14 5. Lafayette Street abuts a steep bluff. A trail leads from the top of the bluff down
15 to Squalicum Creek Park. The right-of-way will likely remain undeveloped. Variances
16 have been granted for properties fronting on Lafayette Street for vehicular access from
17 the alley.

18 6. W. Indiana Street abutting the property has been improved. A variance from
19 minimum street standards was previously granted to avoid unnecessary impacts to the
20 bluff area and trails.

21 7. The alley abutting the subject property is currently under construction and is
22 proposed to be the primary access for the site.

23 8. KCLT proposes to divide the property into three lots. Proposed Lots 1 and 2
24 would be developed with attached single-family residences. Proposed Lot 3 would be
25 developed with a detached single-family residence. Lots 1 and 2 would each contain
26 2,800 square feet of area. Lot 3 would contain 3,360 square feet of area.

27 9. KCLT proposes to utilize the provisions of BMC Chapter 20.27, the
28 Demonstration Program for Innovative Permanently Affordable Homeownership
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1 Projects (Demonstration Program). This Chapter allows the use of alternative
2 development standards and processes not currently allowed under existing land use
3 regulations in order to provide opportunities to develop permanently affordable owner-
4 occupied housing.

5 10. A Pre-Application conference with City Staff was conducted for the proposal on
6 August 13, 2014. A Neighborhood Meeting was conducted on August 29, 2013. The
7 Applications were submitted on October 9, 2013. On November 6, 2013 a Notice of
8 Complete Application and Request for Information was sent. The requested
9 information was submitted on November 26, 2013. Notice of Application was sent on
10 December 13, 2013.

11 11. The Demonstration Program allows an earned increased density of up to 50
12 percent over the maximum density specified in the zoning code if 100 percent of the
13 dwelling units in a project are provided and retained as permanently affordable owner-
14 occupied homes, subject to eligibility requirements.

15 12. To be eligible for increased density under the Demonstration Program criteria
16 the Applicant must be an organization that has as its purpose the creation and retention
17 of owner-occupied, permanently affordable, income-qualified home-ownership; it must
18 demonstrate experience in providing affordable housing and its ability and commitment
19 to submit an annual report to the city council documenting all residential units, past and
20 pending sales, and ownership by qualified home buyers. The project must create single-
21 family residences that are owned by their occupants and it must have controls in place
22 to ensure that the residences remain owner-occupied. The project must also have
23 controls in place to ensure that the residences remain permanently affordable. Projects
24 must be located within a residential single or multifamily zone within the city, but not
25 within the Lake Whatcom watershed. Design review in accordance with BMC Chapter
26 20.25 is required for Demonstration Program projects.

27 13. Project applicants may request modification of regulatory requirements such as
28 minimum lot sizes, street frontage, setbacks, parking requirements, lot coverage, usable
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1 open space and other regulations. To obtain modifications the Applicant must provide
2 detailed documentation regarding the appropriateness of and the need for the
3 modifications.

4 14. Project applicants may also request exemption from traffic and school impact
5 fees and stormwater fees. Exemptions granted from transportation and school impact
6 fees must be paid from public funds other than impact fee accounts.

7 15. KCLT proposes a 50 percent increase in density. The 4,000 square feet per lot
8 density allowed in Area 14 of the Birchwood Neighborhood would allow a maximum of
9 two lots on the site. The Applicant proposes to divide the property into three lots.

10 16. The Applicant also proposes a reduction in the minimum lot size from 4,000
11 square feet to 2,800 square feet for Lots 1 and 2 and to 3,360 square feet for Lot 3. The
12 lot widths for Lots 1 and 2 would be 25 feet each, consistent with the requirements of
13 BMC 18.36. The width of Lot 3 would be about 30 feet, or the remainder of the width
14 of the site after Lots 1 and 2 are each allotted 25 feet. Interior detached lots in this
15 zoning classification are generally required to have lot widths of at least 40 feet.

16 17. A reduction in the required street frontage is requested. Lots 1 and 2 would
17 have 25 feet of frontage on an undeveloped public street rather than the required 30 feet
18 of frontage on a developed street. Lot 3 would have at least 30 feet of frontage on
19 Lafayette Street but the street would not be developed. All of the lots would be
20 accessed from the developed alley.

21 18. The proposal requests modification of the required setbacks. Lot 1 would have
22 a side flanking setback reduced from 10 feet from the side property line abutting W.
23 Indiana Street to five feet from the property line. The requested front yard setback
24 modifications are not necessary because the entire 55 feet of Lafayette Street right-of-
25 way was dedicated from the subject property. The front yard setback for this property is
26 at the property line abutting Lafayette Street.

27 19. KCLT also requests exemption from payment of traffic and school impact fees
28 and stormwater fees.
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1 20. KCLT is a Washington Non-profit Corporation whose purpose is to provide
2 opportunities for low and moderate income people to secure housing that is affordable
3 and that is controlled by the residents on a long-term basis. It has helped approximately
4 143 families to purchase homes on Community Land Trust land in Whatcom County.

5 21. KCLT proposes to use a ground lease similar to that shown in *Exhibit B* to the
6 Staff Report to restrict the sale of improvements on the property to income-qualified
7 persons at a formula-calculated price. It states that the residences will be owner-
8 occupied as provided in covenants that will be recorded for the property.

9 22. The proposed residences are approximately 1,200 square feet , two-story
10 structures. Two parking spaces per residence would be provided abutting the alley.
11 The parking stalls would be pervious or semi-pervious grass-crete, or similar, surfaced.
12 The residences would be oriented to Lafayette Street and the bluff, with covered
13 porches. The structures on Lots 1 and 2 would be attached, with common wall
14 construction.

15 23. Design review approval, consistent with BMC 20.25, has been issued, in
16 DRC2013-00017, for the proposal. See *Exhibit D* to the Staff Report.

17 24. City staff has recommended approval of the Demonstration Program project and
18 short plat, subject to conditions listed in the Staff Report. Staff recommends denial of
19 the request to waive fees, as the City has allocated \$77,527.00 of federal HOME
20 Investment Partnership funds for this project and the fees are eligible for reimbursement
21 from that allocation.

22 25. The Parks and Recreation Department has recommended minor changes to the
23 connections between the proposed residences and the existing trail in Lafayette Street.

24 26. Public comment was received for the proposal. Neighbors of the property were
25 supportive of the proposal. Concerns were expressed regarding adequacy of storage for
26 the proposed residences and impacts on the alley, particularly parked cars blocking the
27 alley and traffic in the alley interfering with pedestrian passage. The neighbor
28 requested that one of the lots take access from W. Indiana Street instead of the alley.
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1 27. The Applicant states that it agrees that additional storage should be provided for
2 the residences and concurs with the Staff Recommendation that enclosed storage sheds
3 should be provided for each unit.

4 28. The alley runs from W. Indiana Street to W. Illinois Street. Access to the
5 residences within the block is available from each end of the alley. This access should
6 mitigate the impact of any vehicle temporarily blocking the alley. Access to all of the
7 lots from the alley reduces the impact of traffic on the trail located in W. Indiana Street.
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10 II. CONCLUSIONS OF LAW

11 1. The Application for the Demonstration Program project and Short Plat has been
12 processed in accordance with the provisions of BMC 20.27.040.

13 2. The Applicant, KCLT, is an eligible organization, consistent with the provisions
14 of BMC 20.27.030A.

15 3. The proposal makes appropriate provisions to guarantee permanently affordable,
16 owner-occupied single-family residences, in accordance with the provisions of BMC
17 20.27.030B and C.

18 4. The proposed project is located in an eligible area, as defined in BMC
19 20.27.030D.

20 5. The proposed project has received Design Review approval, in accordance with
21 BMC 20.27.030E.

22 6. The Applicant has demonstrated that the requested modifications from minimum
23 lot size and width, flanking side yard setback, and street frontage requirements are
24 appropriate and necessary to provide three permanently affordable, owner-occupied
25 residences on the site.

26 7. Traffic and school impact fees and stormwater fees should not be waived. They
27 may be reimbursed from federal funds made available to the project for this purpose.
28

1 8. The proposal satisfies the requirements for approval of a Demonstration
2 Program project and should be recommended for approval.

3 9. The proposed short plat satisfies the requirements of BMC Chapter 18.12, as
4 modified by the provisions of BMC Chapter 20.27, contingent upon approval of the
5 Demonstration Program project. If the Demonstration Program project is not approved
6 the Short Plat fails to satisfy the requirements of BMC Chapter 18.12.

7 10. The City Council reviews the recommendation of the Hearing Examiner and the
8 record created for the proposal and determines whether the project should be approved,
9 approved with modifications, or rejected. The Council's action is in the form of an
10 ordinance.

11 11. Any Finding of Fact that should be denominated a Conclusion of Law shall be
12 deemed to be a Conclusion of Law. Any Conclusion of Law that should be
13 denominated a Finding of Fact shall be deemed to be a Finding of Fact.
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16 III. RECOMMENDATION

17 The Demonstration Program project proposed by KCLT for the property located
18 at 2939 Lafayette Street is recommended for approval, subject to the following
19 conditions:

20 1. The proposed development shall be consistent with the plans, specifications and
21 other materials submitted in support of the proposal, except as modifications are
22 required to comply with other conditions set forth herein or as required by the City
23 Council. The proposed site plan is attached as *Exhibit A*.

24 2. The proposed lots shall be used for single-family residences. They shall be
25 maintained as permanently affordable, owner-occupied homes. Each unit shall be
26 occupied by a purchaser who qualifies in accordance with BMC 20.27.020A. The
27 housing expenses for each purchaser shall be limited as provided in BMC 20.27.020B.
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- 1 3. Controls shall be maintained to ensure that each of the residences remains
2 owner-occupied by a qualified purchaser and that they remain permanently affordable,
3 as defined by BMC 20.27.020. The ground lease and other documents establishing
4 these controls shall be subject to the review and approval of the Director of the Planning
5 and Community Development Department.
- 6 4. The Applicant shall submit annual reports to the City Council regarding the
7 status of the project, including the information required in BMC 20.27.050.
- 8 5. The Applicant shall not transfer ownership of the land without prior approval of
9 the City of Bellingham. The land may only be transferred to another qualified
10 organization or to qualified purchasers with controls in place to ensure permanent
11 affordability and qualified owner-occupancy.
- 12 6. All fees shall be paid for each lot prior to building permit issuance in accordance
13 with ordinances in effect unless exemptions from the fees are granted.
- 14 7. Enclosed storage sheds shall be provided for each dwelling unit. The design and
15 location of the storage sheds shall be subject to the review and approval of the Planning
16 and Community Development Department.
- 17 8. Except as modifications are provided herein the project shall comply with all
18 applicable provisions of the Bellingham Municipal Code, state and federal laws.
- 19 9. The following modifications to Bellingham Municipal Code regulations are
20 approved:
21
- 22 a. A density increase of 50 percent to allow three single-family
 - 23 lots/residences on the subject property.
 - 24 b. Reduction in the flanking side yard setback for proposed Lot 1 to
 - 25 five feet from the property line abutting W. Indiana Street.
 - 26 c. Reduction in lot sizes to 2,800 square feet for Lots 1 and 2 and
 - 27 3,360 square feet for Lot 3.
 - 28 d. Reduction in lot width for proposed Lot 3 to 30 feet, or the
 - 29 remainder of the width of the site after Lots 1 and 2 are each allocated 25
 - 30 feet of lot width.
 - e. Relief from the requirement that each lot front on a developed
street. Construction of Lafayette Street is not required. Vehicular access

1 to the lots shall be from the abutting alley which shall be constructed in
2 accordance with plans approved by the Public Works and Fire
3 Departments. Trail improvements within the Lafayette Street right-of-way
4 shall be as approved by the Parks and Recreation Department.

5 The proposed short plat should be approved, contingent upon approval by the
6 City Council of the Demonstration Program project, subject to the following conditions:

7 1. The short plat shall be generally as shown in the attached Site Plan (*Exhibit A*),
8 except as modifications are required to comply with the conditions set forth herein or
9 required by the City Council, or to comply with unmodified requirements of the
10 Bellingham Municipal Code.

11 2. Lots 1 and 2 shall each have a lot width of 25 feet. The width of Lot 3 shall be
12 the remaining width of the site.

13 3. Lots 1 and 2 shall be developed with attached units. Common wall agreements
14 for Lots 1 and 2 shall be recorded concurrently with the filing of the mylars and shall be
15 shown on the face of the plat.

16 4. Access to the lots shall be from the abutting alley. If the alley is not constructed
17 by the abutting property owners as required in HE-13-PW-005, the Applicant shall
18 improve the alley and the required trail in the Lafayette Street right-of-way in
19 accordance with plans approved by the Public Works, Parks and Recreation and Fire
20 Departments.

21 5. Mitigation shall be provided for stormwater management necessary to support
22 the proposed development based on an engineered stormwater site plan that addresses
23 mitigation requirements of BMC 15.42 and the 2005 Department of Ecology
24 Stormwater Management Manual for Western Washington. Mitigation is not required
25 at this time if it is demonstrated that the total of new or replaced impervious surfaces
26 will not exceed 5,000 square feet. Notation on the face of the plat that limits the square
27 footage of impervious surface for future development and redevelopment within the
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1 short plat boundaries is required. Contents of the notation shall be determined by City
2 staff.

3 6. Five copies of the short plat (checkprints) prepared by a licensed surveyor, a plat
4 certificate, and plat closure sheet must be submitted to the Planning and Community
5 Development Department for review and approval prior to submittal of mylars.

6 7. Covenants or other documentation that guarantee the residences are permanently
7 affordable and owner-occupied shall be recorded concurrent with the short plat.

8 8. A licensed land surveyor must prepare and submit two signed mylar copies of
9 the plat based upon a record of survey and staff's review of the checkprints. At a
10 minimum, the signature of any person having a vested interest in the subject property
11 shall be on the mylar document.

12 9. A per lot filing fee, as established by ordinance, must be paid to the City prior to
13 final short plat approval. The current established fee is \$106.00 per lot, requiring a total
14 payment of \$318.00. The filing of the mylars will change the legal description of the
15 property to Lots 1-3, Kulshan CLT Short Plat.

16 10. The City may impose additional conditions if it is found that sufficient
17 information was not presented with the application and/or such conditions are necessary
18 to comply with the Bellingham Municipal Code.

19 11. The short subdivision application and preliminary approval will expire three
20 years from the date of the decision of the City Council approving the Demonstration
21 Program project upon which this short plat approval is contingent, unless the plat is
22 recorded at the Whatcom County Auditor's Office within that time period.

23 12. The division and development of the property shall comply with all other
24 applicable regulations of the Bellingham Municipal Code, except as modifications are
25 granted herein and in the Demonstration Program project approval.

26 13. A condition shall be placed on the face of the plat stating that all development
27 occurring on the lots shall comply with this decision, and as it may be amended.
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14. If the City Council does not approve the Demonstration Program project this short plat shall not be approved.

ENTERED this 26th day of February 2014.

BELLINGHAM HEARING EXAMINER



Dawn Sturwold

February 12, 2014 Hearing Examiner Agenda Item No. 2

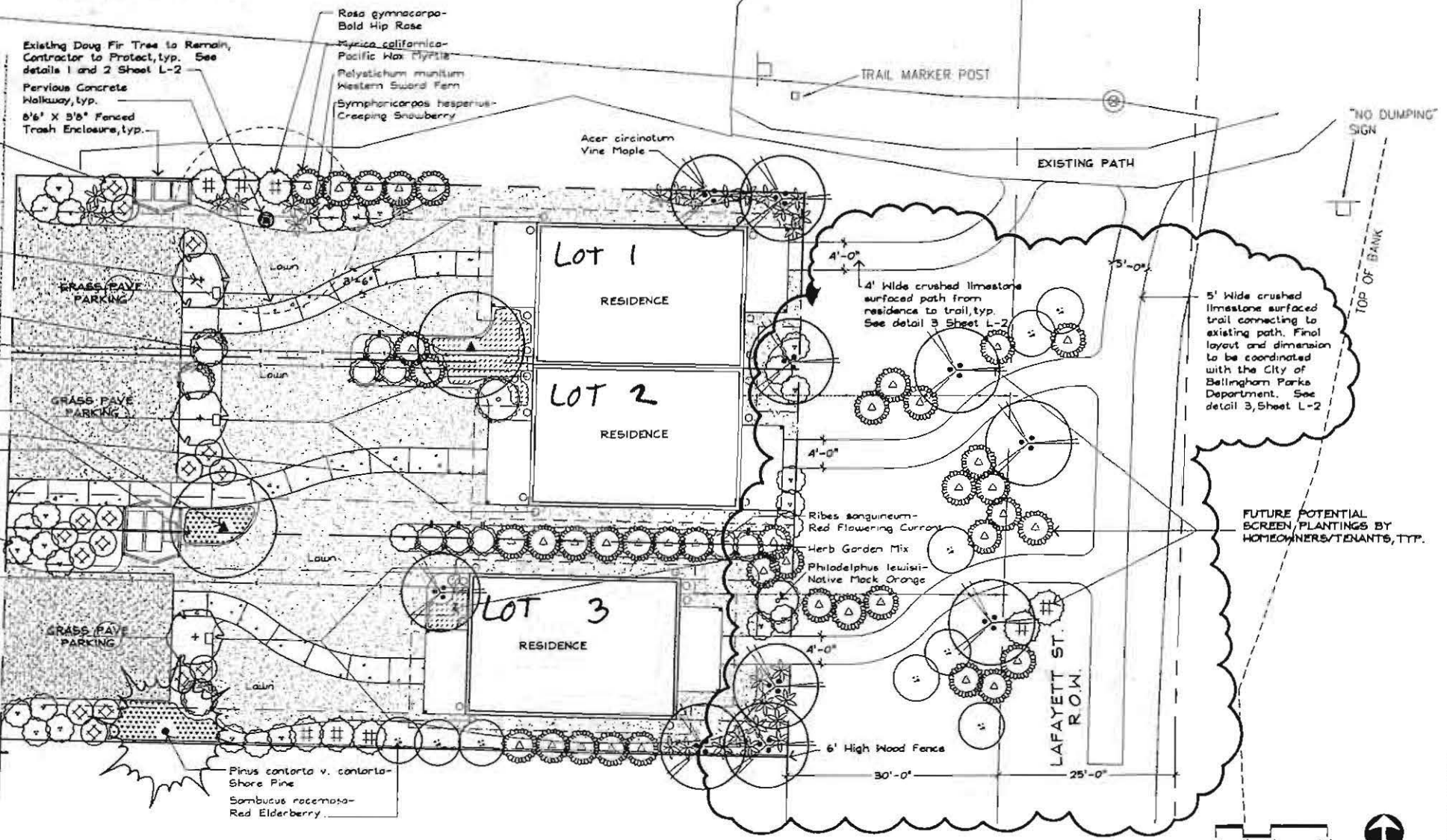
SUB2013-00029 / PCD2013-00011 / DRC2013-00017

Demonstration Program for Innovative Permanently Affordable Housing and Subdivision requests of Kulshan Community Land Trust regarding 2939 Lafayette Street

Exhibit List

- 2-1 Staff Report by Lindsay Kershner, Planner I
- 2-2 Vicinity and Existing Conditions Map (Planning Exhibit A)
- 2-3 Applicant's Proposal and Justification (Planning Exhibit B)
- 2-4 Letter from Kurt Baumgarten and Emily Jones dated 12/26/13 (Planning Exhibit C)
- 2-5 Design Review Permit and Site/Construction Plans (Planning Exhibit D)
- 2-6 Public Works and Parks Staff Recommendations (Planning Exhibit E)
- 2-7 Short Plat (Planning Exhibit F)
- 2-8 Notice of Public Hearing
- 2-9 Large-scale Maps, Elevations, Site Plans and Color Photographs

WEST INDIANA STREET



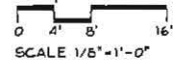
PLANT SCHEDULE

Trees

Quantity	Botanical Name	Common Name	Spacing	Size	Notes
7	<i>Acer circinatum</i>	Vine Maple	as shown	6" ht	Leaf-2-5 bunks
2	<i>Quercus laevis</i>	Brown Turkey Fig	as shown	6" ht	
3	<i>Pinus contorta v. contorta</i>	Shore Pine	as shown	4" - 6" ht	Bushy and Full

Shrubs

Quantity	Botanical Name	Common Name	Spacing	Size
3	<i>Cornus latifolia</i>	Red Twig Dogwood	4'-5' o.c.	1 gal.
3	<i>Cornus canadensis</i>	Baked Hazelnut	5'-6' o.c.	3 gal.
21	<i>Myrica californica</i>	Pacific Wax Myrtle	4'-5' o.c.	2 gal.
2	<i>Philadelphus lewisii</i>	Native Mock Orange	as shown	5 gal.



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SHEET 11

LANDS

PLAN

**CITY OF BELLINGHAM
HEARING EXAMINER STAFF REPORT
Demonstration Program for Affordable Homeownership and Short Subdivision
Kulshan CLT Short Plat #2444
February 12, 2014**

Request

Kulshan Community Land Trust (KCLT) is proposing to develop three dwelling units through the Demonstration Program for Innovative Permanently Affordable Homeownership (Program), Bellingham Municipal Code (BMC) 20.27. A three-lot short subdivision of the 8,960 square foot property is proposed to place each unit on a fee-simple/separate lot. The proposal includes the construction of two attached single-family residences and a detached single family residence. Through the Program, the applicant is requesting exceptions from setbacks, street frontage, and lot size. The Program is decided by City Council and if approved will ensure permanent affordability of the homes.

Hearing Examiner Authority

BMC 20.27.040(M) establishes that the Hearing Examiner shall make a written recommendation to approve, approve with modifications, or deny the application based on the compliance with the earned increased density criteria of BMC 20.27.030. The recommendation shall be transmitted to the City Council and shall be contingent on a final decision of approval by the city council. The Hearing Examiner shall also make a recommendation on the short plat preliminary approval because the lot design is contingent on the Program's approval. The staff report includes a code compliance analysis of both the Program and short plat applications.

Owner/Applicant

Owner: Kulshan Community Land Trust

Applicants: Dean Fearing and Erin Bren, Kulshan Community Land Trust

Address of Site / Legal Description

2939 Lafayette Street

Lots 9-10, Block 10, Eldridge's 2nd Addition to Bellingham

Attachments

Exhibit A – Vicinity and Existing Conditions Map

Exhibit B – Applicant's Proposal/Justification

Exhibit C - Public Comment

Exhibit D – Design Review Permit and Site/Construction Plans

Exhibit E - Public Works and Parks Staff Recommendations

Exhibit F – Short Plat

Background Information

In 2004, the City adopted an ordinance to provide for innovative, permanently affordable homeownership projects (BMC 20.27). KCLT was approved to construct 14 permanently affordable dwelling units through the Program in 2006. The project is known as Matthei Place and is in the 1500 block of Harris and McKenzie Avenues.

In 2009, KCLT applied to vacate Lafayette Street and a portion of W. Indiana Street to construct multiple dwelling units through the Program, on lots north, south, and west of the subject property. The Hearing Examiner recommended approval and City Council approved the street vacation, pending approval of a Program for the project. A Program was never applied for and

KCLT has subsequently developed the lots north and directly west of the subject property with single family residences.

Existing Site Characteristics/Surrounding Uses

The subject property is located on the southwest corner of Lafayette and W. Indiana Streets and is developed with a detached single family residence and garage. The property is 8,960 square feet, the topography is flat, and there are mature evergreen trees on and adjacent to the site. Infrastructure in the area has sufficient capacity for the anticipated full build-out of the area (**Exhibit A**). A permit application has been submitted to demolish the existing structures on the site.

Lafayette Street is 55-feet wide and is undeveloped, except for an informal trail. The trail is used by the public as a connection between Squalicum Creek Park and the Bay to Baker trail.

W. Indiana St., abutting the site, was improved with the Harrid Pack Short Plat. A variance from the street standards was approved by the Hearing Examiner (HE-07-PL-031) to not construct W. Indiana St. to the minimum standard. The alley is under construction and proposed to be the primary access for this proposal. The property owners south of the subject property received a variance (HE-13-PW-005) from having to construct Lafayette St. and are currently improving the alley for access to Lots 5-8 and a portion trail in Lafayette St.

The other surrounding land uses consist of single family residences to the north and west, and Squalicum Creek Park to the east.

Comprehensive Plan and Zoning Designation

Area 14, Birchwood Neighborhood. Multifamily residential, medium density comprehensive plan land use designation; Residential Multiple, Duplex zoning designation with a 4,000 square foot minimum lot size requirement.

Proposal

Refer to the project narrative submitted with the application (**Exhibit B**).

Public Comment (Exhibit C)

A Notice of Application was sent on December 13, 2013 and one comment was received in response to the notice. The comment was from the owners of the vacant Lots 8 and 9, south of the subject property. Overall the owners were supportive of the project and the design, but they requested that KCLT plan for storage needs of the future homeowners by providing storage buildings. KCLT agrees that additional storage is needed for each residence.

Staff Analysis

Demonstration Program

KCLT proposes to subdivide the subject property into three lots and develop Lots 1 & 2 with attached single family residences, and Lot 3 with a detached single family residence (**Exhibit D**). Lots 1 and 2 would each be 2,800 square feet and Lot 3 would be 3,360 square feet. The dwelling units would each have a floor area of 1,200 square feet.

The current zoning only allows two dwelling units on the subject property, but the Program allows for an earned increased density of up to 50 percent over the otherwise allowable density in the applicable residential zone if 100 percent of the dwelling units in the project are provided

and retained as permanently affordable owner-occupied homes, subject to the eligibility requirements (BMC 20.27.030). Therefore, if the Program is approved by City Council, the proposal to develop the property with three dwelling units would be allowed.

BMC 20.27.030D requires single-family housing projects receiving earned increased density under this chapter to comply with the design review process and site location criteria for multifamily residential development in BMC 20.25 to protect, maintain, or enhance neighborhood character and compatibility. A Design Review permit is included in this report and shows that the project complies with the design review criteria in BMC 20.25.

The Public Works, Parks, and Fire Departments have reviewed the proposed short plat and building plans and recommend approval of the proposal with the requested modifications (**Exhibit E**). The Parks Department has recommended minor changes to the connections between the proposed residences and the existing Lafayette St. trail because a portion of the trail is in Squalicum Creek Park. The proposed trail connections between the residences and Bay to Baker Trail will meet a specific recommendation of The Parks, Recreation, and Open Space Plan (Chapter 6 of the Comprehensive Plan). The recommendation is to, "develop neighborhood trail connectors to the regional multiuse trail system in order to provide an off-street trail within ½ mile of every resident in Bellingham."

The Program allows the applicant to request modifications from the required development regulations and exemptions from certain City fees. The applicant has (for both the detached single family residence and attached single family residences) requested modifications from the minimum lot size, minimum street frontage, and setbacks. They have also requested exemptions from payment of traffic, school, and stormwater fees.

The following is a summary of the modification requests from the development regulations in the BMC. The project complies with all other development regulations (height, parking, etc.)

Lots 1 and 2:

Regulation:	Requirement:	Modification:
Setbacks	BMC 20.32.045 E(1-2): Front: 40' from centerline, 12.5' prop. line (PL) Lot 1 only: Side Flanking: 40' from centerline, 10' PL	Front : 8' PL to wall (covered porch can encroach 6' into yard) Side Flanking: 5' PL
Lot Size	4,000 SF	2,800 SF
Street Frontage	BMC 18.36.020 E: 30 feet BMC 18.12.030: Lots abut developed streets	25 feet Lots abut a developed alley

Lot 3:

Regulation:	Requirement:	Modification:
Setbacks:	BMC 20.30.040 F(1): Front: 50' from centerline, 22.5' prop. line	Front : 16' PL to wall (covered porch can encroach 6' into yard)
Lot Size	4,000 sq. feet	3,360 SF
Street Frontage	BMC 18.12.030: Lots abut a developed street	Lots abut a developed alley

The following provides staff's response to each element of the Program in BMC 20.27.

20.27.010 - Authority and Purpose

A. Authority. Both the Growth Management Act and the Housing Policy Act require the city to provide housing opportunities for all economic segments of the community. Similarly the city's comprehensive plan encourages revisions to the city's development regulations to increase the supply of affordable housing.

This chapter will allow the use of alternative development standards and processes that are not currently allowed under existing land use regulations, while protecting residential character and maintaining overall consistency with the neighborhood plans and the goals and policies of the Bellingham comprehensive plan.

***Response:** The design of the proposed dwelling units is consistent with the character of Area 14 of the Birchwood Neighborhood. The proposal is also consistent with the Housing Chapter of the Comprehensive Plan because it will provide affordable housing. It also meets the Multifamily Design Goals (CDG-12-15) within the Community Design Chapter of the Comprehensive Plan.*

20.27.020 - Affordable homeownership defined.

Purchasers of affordable homes constructed under this chapter shall meet the following requirements:

A. Annual Income. All purchasers shall be from a household whose annual income, at the household's initial occupancy of the single-family residence, is 80 percent or less of the median income (determined by HUD) as adjusted by family size of the Bellingham Standard Metropolitan Statistical Area (SMSA), specifically defined as Whatcom County; and

B. Housing Expenses. The monthly expenditure by a purchaser, as described in subsection (A) of this section, for housing including mortgage repayment, insurance, taxes and utilities (water and sewer) shall not exceed 38 percent of the gross household income at the time of purchase and the amount for mortgage shall not exceed 30 percent of gross household income. All other variable living expenses associated with the resident's occupancy shall not be a factor in the calculation of affordability.

***Response:** The information provided in **Exhibit B** is confirmation that KCLT only provides homeownership opportunities to people satisfying the above requirements.*

20.27.030 - Earned increased density criteria.

Earned increased density of up to 50 percent over the otherwise allowable density in the applicable residential zone may be granted to a project if 100 percent of dwelling units in the project are provided and retained as permanently affordable owner-occupied homes, subject to the following eligibility requirements:

A. Project Applicant.

1. The organization has as its purpose the creation and retention of owner-occupied, permanently affordable, income qualified home-ownership.
2. The organization can demonstrate experience in providing affordable housing. Notwithstanding this requirement, an organization that can demonstrate

experience in providing housing and a mission statement of its intent to use that experience toward achieving the goal of providing permanently affordable housing shall be deemed to have met this requirement.

3. The organization can demonstrate the ability to employ a mechanism to retain all of the units as permanently affordable to income-qualified buyers as defined by BMC 20.27.020 and which specifically requires that the units be either owner-occupied or vacant.

4. The organization can demonstrate an ability and commitment to submit an annual report to the city council documenting all residential units, past and pending sales, and ownership by qualified home buyers.

Response: *KCLT is a Washington Non Profit Corporation whose purpose, among other things, is to provide opportunities for low and moderate income people to secure housing that is affordable and that is controlled by the residents on a long-term basis. It has helped approximately 143 families purchase homes on Community Land Trust land in Bellingham and Whatcom County.*

*To provide perpetual affordability of the homes to be constructed on the project site, the Applicant proposes to use a ground lease, similar to that shown in **Exhibit B**. This ground lease restricts the sale or disposition of improvements on the property to income-qualified persons at a formula-calculated price.*

B. Single-Family Homeownership. The project must create single-family residences that are individually owned by their occupants. It must have controls in place, subject to approval by the planning director or his/her designee, to ensure that the residences remain owner-occupied.

Response: *The project will create single-family residences that are individually owned by the occupants. Along with the ground lease, a covenant will be recorded that will guarantee the residences remain owner-occupied.*

C. Guarantee of Permanent Affordability. The project must have controls in place, subject to approval by the planning director or his/her designee, to ensure that the project's single-family residences remain permanently affordable in accordance with the definition of affordable homeownership in BMC 20.27.020. The controls shall include:

1. Continued ownership of the land by the project applicant with the owner occupants of the single-family residences leasing the land back from the project applicant;

2. Purchase/sale agreements with the owner/occupants which require that the single-family residences be sold only to qualified purchasers who meet the requirements of BMC20.27.020;

3. A requirement that the project applicant can only transfer the land to another entity that meets the requirements of subsection (A) of this section; or

4. Other methods approved by the planning director, or his/her designee, to ensure that the project's single-family residences remain permanently affordable in accordance with the definition of affordable homeownership.

Response: *The Staff response to Section A above, and based on the information submitted in **Exhibit B** is confirmation that KCLT is a qualified applicant and that they have the ability to ensure perpetual homeownership affordability.*

D. Project Location. Affordable single-family homes developed under this chapter must be located in a residential single-family or multifamily zone within the city of Bellingham, except within the Lake Whatcom watershed.

Response: *The property is located in a multifamily zone and is not located in the Lake Whatcom Watershed.*

E. Design Review. Single-family housing projects receiving earned increased density under this chapter must comply with the design review process and site location criteria for multifamily residential development in Chapter 20.25 BMC to protect, maintain, or enhance neighborhood character and compatibility.

Response: *The project has been reviewed and determined to be consistent with the Multifamily Residential Design handbook as required in BMC 20.25 (See **Exhibit D** for the Design Review permit).*

F. Request for Regulatory Modification. Project applicants may request modification of the regulatory requirements listed below; provided, that the project complies with applicable Washington state laws. Requests for modification must be accompanied by detailed supporting documentation regarding the appropriateness of, and the need for, the modification. Project applicants must meet all other applicable development regulations in the Bellingham Municipal Code pertaining to single-family detached or attached houses. Requests for regulatory modification must accompany the preliminary plat, short plat, or lot line adjustment application and must be noted on submitted site plans.

1. Minimum lot size;
2. Minimum street frontage;
3. Minimum front, side, and rear yard setbacks;
4. Minimum parking requirements;
5. Maximum lot coverage;
6. Minimum usable open space;
7. Other regulations to allow demonstration of innovative approaches to permanently affordable homeownership, energy conservation, low-impact development, and stormwater management.

Response: *The applicants have requested modifications of number's 1, 2, and 3 above, as identified in the table on **page three** of this report and on the project site plan.*

G. Recommendation for Regulatory Modification. The planning and community development director or his/her designee, may issue a recommendation to the hearing

examiner for modification of regulatory requirements listed in subsection (F) of this section, for projects applying under this chapter if the planning director or his/her designee, determines that approvals of requested regulatory modifications are necessary to facilitate the construction of as many affordable homes as allowable.

Response: Staff supports KCLT's justifications for the modifications as identified in **Exhibit B** and shown on the proposed site plans. The modifications are necessary to create another affordable residence in the City. Without the requested modifications, two dwelling units could be provided if a variance from street construction was granted by the Hearing Examiner. Whereas approval of the latter modifications allows the development of three affordable dwelling units on fee-simple lots.

H. Request for Exemption from Traffic and School Impact Fee and Stormwater Fee. Project applicant may request exemption from the traffic impact fee (TIF) in accordance with BMC 19.06.030(E), the school impact fee in accordance with BMC 19.08.080(A)(1)(d), and the stormwater fee in accordance with BMC 15.16.040(A). As per RCW 82.02.060(2), exemptions granted for transportation or school impact fees attributable to the development must be paid from public funds other than impact fee accounts.

Response: KCLT has requested to have the traffic, school, and stormwater fees waived. Any exemptions granted for transportation or school impact fees must be paid from public funds other than impact fee accounts. The City has allocated \$77,527 of federal HOME Investment Partnership funds for this project, and the fees requested to be waived are eligible for reimbursement by that allocation. Staff recommends the fee waiver request not be granted under this provision, as the proper request for this fee to be paid is from the City's allocation of the federal funds for this project.

Short Plat Application (Exhibit F)

BMC 18.12.030 – Lot Requirements:

This section requires that all lots created by a short subdivision shall abut upon a dedicated or deeded street and such street to have no less than 60 feet of right-of-way width if a through street. In the event the abutting street does not meet these minimum width standards, additional right-of-way shall be required prior to approval of a short subdivision; provided, that this requirement may be waived if, in the opinion of the planning and community development director and city engineer, such additional right-of-way will not be necessary for the future traffic circulation of the city.

Lafayette St. is less than 60 feet wide, but in the opinion of the PCDD and city engineer, additional right-of-way is not needed because Lafayette St. is not necessary for future traffic circulation.

BMC 18.12.040 – Required Improvements:

This section establishes the requirement that all newly created lots must abut City water, sewer, and improved public street(s). This section also gives authority to impose conditions necessary to address stormwater management and any Special Conditions.

The applicant requests a modification from having to abut developed streets and instead proposes to abut a developed alley. In two previous decisions the Hearing Examiner has approved the development of lots in the area without full build-out of abutting streets. This was

the case with a four lot short plat directly north of the subject property to allow W. Indiana St. to be developed to a lesser standard (HE-07-PL-031) and development of the alley abutting the subject property for the existing Lots 5-8 rather than Lafayette St. (HE-13-PW-005). The Public Works Department is supportive of this request to use the alley for access and not develop Lafayette St.

The proposed lots will abut City water, sewer, and improved public alley. The special conditions for area 14 of the Birchwood Neighborhood are not relevant to this proposal.

It is anticipated that development within the short plat will not exceed the 5,000 square foot impervious surface threshold and, therefore, no stormwater mitigation is required at this time. The short plat should be conditioned such that new impervious areas are monitored with building permit activity.

BMC 18.36 - Lots and Blocks

The proposed lots do not meet the requirements for lot width of site area for Area 14 of the Birchwood Neighborhood. Although, as previously stated, through the Program the applicants are requesting reduced lot widths and lot sizes as indicated in the table above. All lots meet the minimum 60-foot depth requirement.

Conclusion and Staff Recommendation

If approved, the proposed development will fulfill Comprehensive Plan housing visions and policies. Specifically, the proposal would meet housing vision #2 to increase the housing density in a part of the community which is appropriate for small lots, and housing policy #14 to provide perpetual affordability through community land trusts.

Based on the above analysis, staff believes the applicant has provided sufficient justification for the Demonstration Program and the Hearing Examiner should recommend that City Council approves the proposal with the requested modifications, subject to the conditions listed below. Staff also recommends that the Hearing Examiner recommends preliminary approval of the short plat as requested, subject to the following conditions:

Demonstration Program:

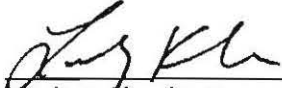
1. The proposed development shall substantially conform to the materials submitted in support of the applications, except as otherwise provided herein.
2. The proposed lots shall be used for single-family residential units provided and maintained as permanently affordable owner-occupied homes. Each unit shall be occupied by a purchaser who qualifies pursuant to BMC 20.27.020. Housing expenses shall be consistent with the requirements of BMC 20.27.020. Controls shall be in place to ensure that the residences remain owner-occupied and that they remain permanently affordable. The ground lease, and other document(s) establishing such controls shall be subject to the review and approval of the Planning Director.
3. The Applicant shall submit annual reports to the City Council as required by BMC 20.27.050.
4. The Applicant shall not transfer ownership of the land without prior approval of the City of Bellingham. The land may be transferred only to another qualified organization or to qualified purchasers with controls in place to ensure permanent affordability.
5. All fees shall be paid for each lot prior to building permit issuance in accordance with the ordinance in effect unless exemptions from these fees are granted.
6. Enclosed storage sheds shall be provided for each dwelling unit. The Planning and Community Development Department shall approve the design and location.

7. Except as provided herein the project shall comply with all applicable provisions of the Bellingham Municipal Code, state and federal laws.

Short Subdivision:

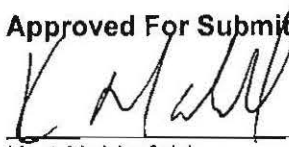
1. Preliminary approval of the short plat is contingent upon approval by the City Council of the proposed demonstration project pursuant to BMC 20.27.
2. Lots 1 and 2 shall have a lot width of 25 feet. The remainder of the property along Lafayette Street shall be the width of Lot 3.
3. If the alley is not constructed by the abutting property owners per the Hearing Examiner decision, HE-13-PW-005, then KCLT shall improve the alley and the Lafayette St. trail per the Public Works, Parks, and Fire Departments.
4. Mitigation for stormwater management necessary to support the proposed development based on an engineered stormwater site plan that addresses mitigation requirements of BMC 15.42 and the 2005 Department of Ecology Stormwater Management Manual for Western Washington shall be provided. Mitigation is not necessary at this time if it is demonstrated that the total of new or replaced impervious surfaces will not exceed 5,000 square feet. Notation on the face of the plat that limits the square footage of impervious surface for future development and redevelopment within the short plat boundaries is required. Contents of the notation shall be determined by City staff.
5. Five copies of the short plat (checkprints) prepared by a licensed surveyor, a plat certificate, and plat closure sheet must be submitted to the Planning and Community Development Department for review and approval prior to submittal of mylars.
6. Common wall agreements for Lots 1 & 2 shall be recorded concurrently with the filing of the mylars and shall be shown on the plat.
7. Covenants or other documentation that guarantees the residences are permanently affordable and owner-occupied, shall be recorded concurrent with the short plat.
8. A licensed land surveyor must prepare and submit two signed mylar copies of the plat based on a record of survey and staff's review of the checkprints. At a minimum, the signature of any person having a vested interest in the subject property shall be on the mylar document.
9. A per lot filing fee, as established by ordinance, must be paid to the City prior to final short plat approval. The current established fee is \$106.00 per lot, requiring a total payment of \$318.00. The filing of the mylars will change the current legal description of the property to Lots 1-3, Kulshan CLT Short Plat.
10. The City may impose additional conditions if it is found that sufficient information was not presented with the application and/or such conditions are necessary to comply with the Bellingham Municipal Code.
11. The short subdivision application and preliminary approval will expire three years from the date of this decision unless the plat is recorded at the Whatcom County Auditor's Office within that time period.
12. The division and development of the property shall comply with all other applicable regulations of the Bellingham Municipal Code, except as modifications are granted herein.
13. A condition shall be placed on the face of the plat stating that all development occurring on the lots shall comply with this decision, and as it may be amended.

Prepared By



Lindsay Kershner
Planner I

Approved For Submittal By

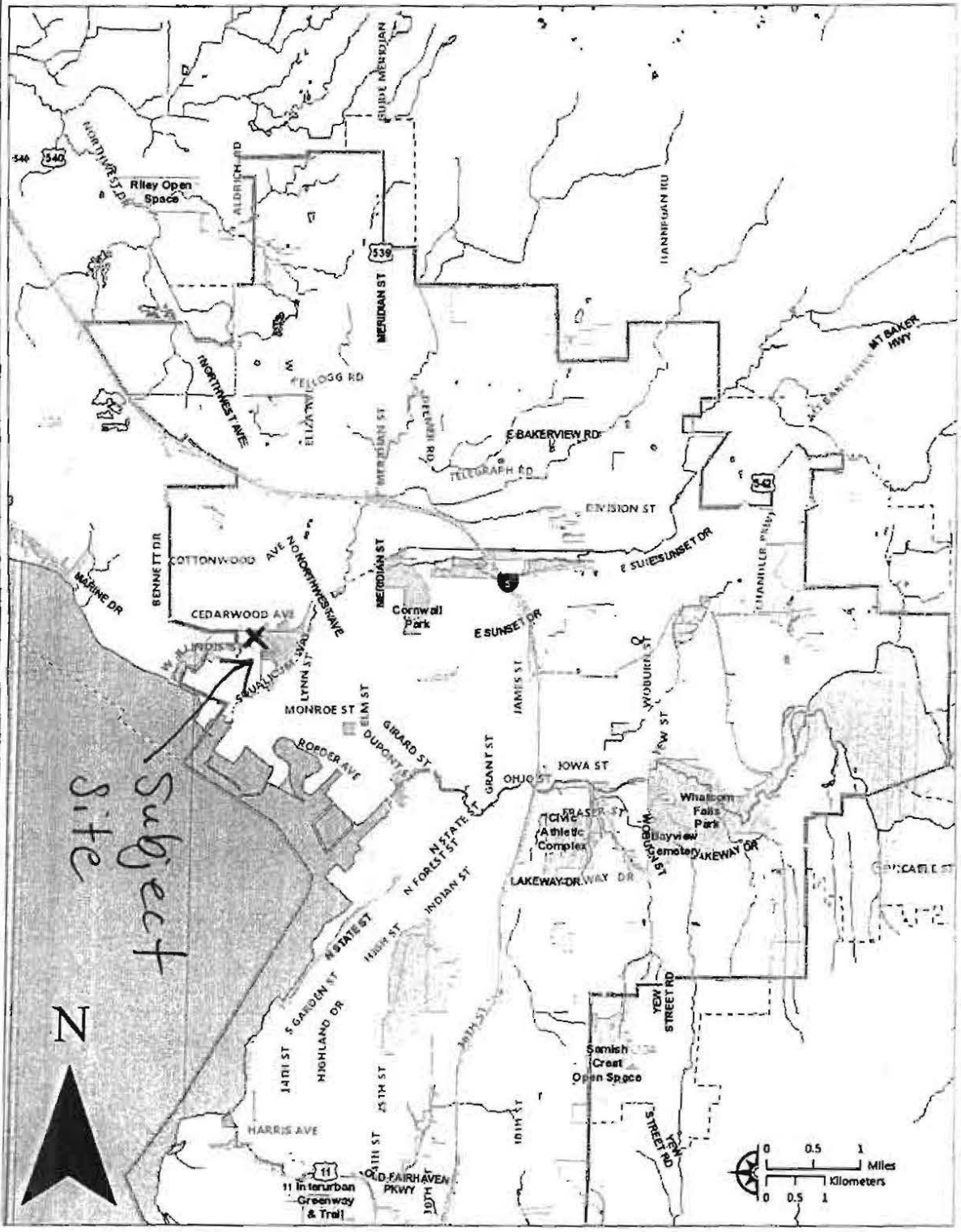


Kurt Nabbefeld
Senior Planner



2939 Lafayette Vicinity Map

EXHIBIT A



The City of Bellingham has compiled this information for its own use and is not responsible for any use of this information by others. The information found herein is provided simply as a courtesy to the public and is not intended for any third party use in any official, professional or other authoritative capacity. Persons using this information do so at their own risk and by such use agree to defend, indemnify and hold harmless the City of Bellingham as to any claims, damages, liability, losses or suits arising out of such use. Contact the Whatcom County Assessors office (360-676-6790) for the most up to date parcel information. Printed at Aug 29, 2013, 2:46 pm from CityIQ.



Sewer Utilities

- Catch Basin
- Clean Out
- Manhole
- + Fitting
- Lift Station
- - Sewer Service Line
- City Gravity Main
- - City Gravity Main, Under Construction
- - Private Gravity Main
- - City Pressurized Main
- - City Pressurized Main, Under Construction
- - Private Pressurized Main

Storm Utilities

- Catch Basin
- Manhole
- Clean Out
- Pipe End
- Fitting
- Storm Service Line
- Drain Line
- Culvert
- - City Main
- - City Main, Under Construction
- - Private Main
- - Private, Under Construction
- - Ditch
- Detention Facility, City
- Detention Facility, Private

Water Utilities

- ★ Air Release
- ★ Blow Off
- ▲ Customer Account
- City Hydrants
- City Filling Stations
- Private Hydrants
- x Bypass Valve
- Inline Valve
- Tapping Valve
- x Zone Valve
- + Fitting
- - Fireline Service
- - Hydrant Service
- - Water Service Line
- - City Main
- - City Main, Under Construction
- - Private Main
- Enclosed Storage Facility
- Pump Station
- Storage Basin
- Treatment Plant
- Sampling Station

Basemap

- Colleges/Universities
- Schools
- Private School or Preschool
- Fire Stations
- City Boundary
- Urban Growth Area
- Docks
- Open Channel Streams
- Culverts & Streams
- Parks
- Bridges
- Railroads
- Ferries
- Aerial Streets
- Interstate
- Primary Trail
- Secondary Trail
- Minor Trail
- Trees

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EXHIBIT B

PROJECT NARRATIVE:

Kulshan Community Land Trust, a non-profit community development organization, proposes building three permanently affordable homes at 2939 Lafayette St. Bellingham, WA 98225 in the Birchwood Neighborhood.

Utilizing the City of Bellingham's Demonstration Program for Innovative Permanently Affordable Homeownership Projects (BMC 20.27), KulshanCLT requests a 50% density bonus which will allow three homes on two existing lots. This meets the primary goal of the demonstration ordinance in maximizing density and creating innovative permanently affordable homeownership projects.

These homes, similar to homes recently built by KulshanCLT nearby, will exceed energy efficiency requirements, feature solar energy, and will be compact in design. Using the CLT model, these homes will be sold to low to moderate income buyers at or below 80% area median income.

KulshanCLT has successfully developed seventeen new construction projects. These three homes represent the final phase of eight homes (ten housing units) in the Birchwood Neighborhood close to schools, services, and transportation.

KulshanCLT is committed to providing permanently affordable homeownership opportunities throughout Whatcom County with a focus on neighborhoods with high concentrations of rental units or high turnover rates at nearby schools, such as the Birchwood Neighborhood.

To date, KulshanCLT has 110 homes in trust and has served over 135 families since 1999.

REQUEST FOR REGULATORY MODIFICATION:

Per BMC 20.27.030F, Project applicants may request modification of the regulatory requirements listed below; provided, that the project complies with applicable Washington State laws. Requests for modification must be accompanied by detailed supporting documentation regarding the appropriateness of, and the need for, the modification. Project applicants must meet all other applicable development regulations in the Bellingham Municipal Code pertaining to single-family detached or attached houses.

1. Minimum lot size;
2. Minimum street frontage;
3. Minimum front, side, and rear yard setbacks;
4. Minimum parking requirements;
5. Maximum lot coverage;
6. Minimum usable open space;
7. Other regulations to allow demonstration of innovative approaches to permanently affordable home ownership, energy conservation, low-impact development, and maximum lot coverage.

Project requests variances from the following regulations listed in BMC 20.30.040 and BMC 20.32.045:

Minimum lot size

The zoning designation for the area would allow single-family structures at 4,000 and duplexes at 4,000 square feet per unit or 8,000 square feet per structure.

Minimum street frontage

Minimum front and side yard flanking setbacks

Maximum lot coverage

NOV 26 2013

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2939 Lafayette Street – COB Comments/Request for Information

Demonstration Program (BMC 20.27)

1.) In order to show compliance with BMC 20.27.030(A), Project Applicant, and (C), Guarantee of Permanent Affordability, provide documentation/evidence of how KulshanCLT keeps dwelling units affordable.

KulshanCLT’s mission is to ensure homes are permanently affordable. The affordability of KulshanCLT’s homes is secured through the *Kulshan Community Land Trust Ground Lease* (attached).

2.) Per BMC 20.27.030(F), Request for Regulatory Modification, KulshanCLT requests the following modifications:

Minimum lot size - Required: 4,000 sf Proposed: 2,800 sf and 3,360 sf

Utilizing BMC 20.27, KulshanCLT requests an earned increased density of 50 percent over the otherwise allowable density, which will allow three single family units instead of two on the site. This meets the primary goal of the Demonstration Housing Ordinance (BMC 20.27) by maximizing density and creating innovative permanently affordable homeownership projects.

Minimum street frontage - Required: Front on minimum standard street and minimum lot width is 30'.

Proposed: Use the alley for access and not develop W. Indiana or Lafayette Streets. The attached lot widths will be 25' wide.

The City of Bellingham Planning Department expressed support for a site plan utilizing the alley for access, instead of developing W. Indiana or Lafayette Streets, for the best use of the site.

Setbacks - Lots A & B (lots 1 & 2 on preliminary short plat drawing):

Attached SF code is BMC 20.32.045(E)(1).

Required: Front yard - 40'CL, 12.5'PL Proposed: 2' PL to post, 8' PL to wall

Side yard flanking - 10' PL Proposed: 5' PL

Lot C: Detached SF code is BMC 20.30.040(F).

Required: Front - 22.5' PL Proposed: 10' PL to post, 16' PL to wall

The portion of W. Indiana Street abutting the Northside of the project site is unimproved, thus the proposed side yard flanking setback would

not seem out of character with the surrounding area. Additionally, the Lafayette Street right-of-way abutting the Eastside side of the project site is unimproved, thus the proposed front yard setbacks would not seem out of character with the surrounding area.

3.) Per BMC 20.27.030(H), KulshanCLT requests exemption from the traffic impact fee (TIF) in accordance with BMC 19.06.030(E), the school impact fee in accordance with BMC 19.068.080(A)(1)(d), and the stormwater fee in accordance with BMC 15.16.040(A). Exemption from these fees will increase KulshanCLT's ability to develop these homes and preserve their affordability.

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NOV 26 2013

City of Bellingham
Planning & Community Development

When Recorded, Please Mail to:

Kulshan Community Land Trust
1303 Commercial Street, Suite 6
Bellingham, WA 98225

KULSHAN COMMUNITY LAND TRUST GROUND LEASE

Grantor(s): Kulshan Community Land Trust

Grantee(s): Homeowner Name

Assessor's Tax Parcel Number: Reference number of document(s) assigned or released: xxxxxx xxxxxx xxxx

Legal Description:

Full Legal Description.

Situate in Whatcom County, Washington.

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- 5.8 KULSHANCLT CAN COLLECT UNPAID FEES WHEN HOME IS SOLD

ARTICLE 6: Taxes and Assessments

- 6.1 HOMEOWNER IS RESPONSIBLE FOR PAYING ALL TAXES AND ASSESSMENTS
- 6.2 KULSHANCLT WILL PASS ON ANY TAX BILLS IT RECEIVES TO HOMEOWNER
- 6.3 HOMEOWNER HAS A RIGHT TO CONTEST TAXES
- 6.4 IF HOMEOWNER FAILS TO PAY TAXES, KULSHANCLT MAY INCREASE LEASE FEE
- 6.5 PARTY THAT PAYS TAXES MUST SHOW PROOF

ARTICLE 7: The Home

- 7.1 HOMEOWNER OWNS THE HOUSE AND ALL OTHER IMPROVEMENTS ON THE LEASED LAND
- 7.2 HOMEOWNER PURCHASES HOME WHEN SIGNING LEASE

- 7.3 CONSTRUCTION CARRIED OUT BY HOMEOWNER MUST COMPLY WITH CERTAIN REQUIREMENTS
- 7.4 HOMEOWNER MAY NOT ALLOW STATUTORY LIENS TO REMAIN AGAINST LEASED LAND OR HOME
- 7.5 HOMEOWNER IS RESPONSIBLE FOR SERVICES, MAINTENANCE AND REPAIRS
- 7.7 WHEN LEASE ENDS, OWNERSHIP REVERTS TO KULSHANCLT, WHICH SHALL REIMBURSE HOMEOWNER

ARTICLE 8: Financing

- 8.1 HOMEOWNER CANNOT MORTGAGE THE HOME WITHOUT KULSHANCLT'S PERMISSION
- 8.2 BY SIGNING LEASE, KULSHANCLT GIVES PERMISSION FOR ORIGINAL MORTGAGE
- 8.3 HOMEOWNER MUST GET SPECIFIC PERMISSION FOR REFINANCING OR OTHER SUBSEQUENT MORTGAGES.
- 8.4 KULSHANCLT IS REQUIRED TO PERMIT A "STANDARD PERMITTED MORTGAGE"
- 8.5 A PERMITTED MORTGAGEE HAS CERTAIN OBLIGATIONS UNDER THE LEASE
- 8.6 A PERMITTED MORTGAGEE HAS CERTAIN RIGHTS UNDER THE LEASE
- 8.7 IN THE EVENT OF FORECLOSURE, ANY PROCEEDS IN EXCESS OF THE PURCHASE OPTION PRICE WILL GO TO KULSHANCLT

ARTICLE 9: Liability, Insurance, Damage and Destruction, Eminent Domain

- 9.1 HOMEOWNER ASSUMES ALL LIABILITY
- 9.2 HOMEOWNER MUST DEFEND KULSHANCLT AGAINST ALL CLAIMS OF LIABILITY
- 9.3 HOMEOWNER MUST REIMBURSE KULSHANCLT
- 9.4 HOMEOWNER MUST INSURE THE HOME AGAINST LOSS AND MUST MAINTAIN LIABILITY INSURANCE ON HOME AND LEASED LAND
- 9.5 WHAT HAPPENS IF HOME IS DAMAGED OR DESTROYED
- 9.6 WHAT HAPPENS IF SOME OR ALL OF THE LAND IS TAKEN FOR PUBLIC USE
- 9.7 IF PART OF THE LAND IS TAKEN, THE LEASE FEE MAY BE REDUCED
- 9.8 IF LEASE IS TERMINATED BY DAMAGE, DESTRUCTION OR TAKING, KULSHANCLT WILL TRY TO HELP HOMEOWNER BUY ANOTHER KULSHANCLT HOME

ARTICLE 10: Transfer of the Home

- 10.1 INTENT OF THIS ARTICLE IS TO PRESERVE AFFORDABILITY
- 10.2 HOMEOWNER MAY TRANSFER HOME ONLY TO KULSHANCLT OR QUALIFIED PERSONS
- 10.3 THE HOME MAY BE TRANSFERRED TO CERTAIN HEIRS OF HOMEOWNER
- 10.4 HOMEOWNER'S NOTICE OF INTENT TO SELL
- 10.5 KULSHANCLT HAS AN OPTION TO PURCHASE THE HOME
- 10.6 IF PURCHASE OPTION EXPIRES, HOMEOWNER MAY SELL ON CERTAIN TERMS
- 10.7 AFTER ONE YEAR KULSHANCLT SHALL HAVE POWER OF ATTORNEY TO CONDUCT SALE
- 10.8 PURCHASE OPTION PRICE EQUALS LESSER OF APPRAISED VALUE OF HOMEOWNER'S OWNERSHIP INTEREST OR FORMULA PRICE
- 10.9 HOW THE VALUE OF HOMEOWNER'S OWNERSHIP INTEREST IS DETERMINED
- 10.10 HOW THE FORMULA PRICE IS CALCULATED
- 10.11 QUALIFIED PURCHASER SHALL RECEIVE NEW LEASE
- 10.12 PURCHASER MAY BE CHARGED A TRANSFER FEE
- 10.13 HOMEOWNER REQUIRED TO MAKE NECESSARY REPAIRS AT TRANSFER

ARTICLE 11: Reserved

ARTICLE 12: Default

- 12.1 WHAT HAPPENS IF HOMEOWNER FAILS TO MAKE REQUIRED PAYMENTS TO THE KULSHANCLT
- 12.2 WHAT HAPPENS IF HOMEOWNER VIOLATES OTHER (NONMONETARY) TERMS OF THE LEASE
- 12.3 WHAT HAPPENS IF HOMEOWNER DEFAULTS AS A RESULT OF JUDICIAL PROCESS
- 12.4 A DEFAULT (UNCURED VIOLATION) GIVES KULSHANCLT THE RIGHT TO TERMINATE THE LEASE OR EXERCISE ITS PURCHASE OPTION

ARTICLE 13: Mediation and Arbitration

- 13.1 MEDIATION AND ARBITRATION ARE PERMITTED
- 13.2 HOMEOWNER AND KULSHANCLT SHALL SHARE COST OF ANY MEDIATION OR ARBITRATION

ARTICLE 14: General Provisions

- 14.1 HOMEOWNER'S MEMBERSHIP IN KULSHANCLT
- 14.2 NOTICES
- 14.3 NO BROKERAGE
- 14.4 SEVERABILITY AND DURATION OF LEASE
- 14.5 RIGHT OF FIRST REFUSAL IN LIEU OF OPTION
- 14.6 WAIVER
- 14.7 KULSHANCLT'S RIGHT TO PROSECUTE OR DEFEND
- 14.8 CONSTRUCTION
- 14.9 HEADINGS AND TABLE OF CONTENTS

- 14.10 PARTIES BOUND
- 14.11 GOVERNING LAW
- 14.12 RECORDING

Exhibits That Must Be Attached

- Exhibit ___ LETTERS OF AGREEMENT AND ATTORNEY'S ACKNOWLEDGMENT
- Exhibit ___ LEASED LAND
- Exhibit ___ DEED
- Exhibit ___ PERMITTED MORTGAGES
- Exhibit ___ FIRST REFUSAL
- Exhibit ___ COMMUNITY LAND TRUST GROUND LEASE RIDER

Other Exhibits to be Attached as Appropriate

- Exhibit ___ ZONING
- Exhibit ___ RESTRICTIONS
- Exhibit ___ INITIAL APPRAISAL

THIS LEASE ("this Lease" or "the Lease") entered into this _____ day of _____, 20____, between KULSHAN COMMUNITY LAND TRUST ("KULSHANCLT") and _____ and _____ ("Homeowner").

RECITALS

- A. The KulshanCLT is organized exclusively for charitable purposes, including the purpose of providing homeownership opportunities for low and moderate income people who would otherwise be unable to afford homeownership.
 - B. A goal of the KulshanCLT is to preserve affordable homeownership opportunities through the long-term leasing of land under owner-occupied homes.
 - C. The Leased Land described in this Lease has been acquired and is being leased by the KulshanCLT in furtherance of this goal.
 - D. The Homeowner shares the purposes of the KulshanCLT and has agreed to enter into this Lease not only to obtain the benefits of homeownership, but also to further the charitable purposes of the KulshanCLT.
 - E. Homeowner and KulshanCLT recognize the special nature of the terms of this Lease, and each of them accepts these terms, including those terms that affect the marketing and resale price of the property now being purchased by the Homeowner.
 - F. Homeowner and KulshanCLT agree that the terms of this Lease further their shared goals over an extended period of time and through a succession of owners.
- NOW THEREFORE, Homeowner and KulshanCLT agree on all of the terms and conditions of this Lease as set forth below.

DEFINITIONS: Homeowner and KulshanCLT agree on the following definitions of key terms used in this Lease.

Bankruptcy: Any action under the Bankruptcy laws of the United States, as now in force or as amended, any general assignment for the benefit of creditors, any action under the laws of the State of Washington seeking a receivership, conservatorship or similar divestment of ownership and control of the Homeowner's rights under this Lease or similar action under the laws of any state or country.

Base Price: the total price that is paid for the Home by the Homeowner. The contract price not including subsidy in the form of deferred loans or grants to the Homeowner.

Capital systems: The roof, plumbing, foundation, electrical, heating unit, sewer line, insulation, or windows which are part of the permanent structures upon the leased land.

Event of Default: Any violation of the terms of the Lease unless it has been corrected ("cured") by Homeowner or the holder of a Permitted Mortgage in the specified period of time after a written Notice of Default has been given by KULSHANCLT, and as further defined in Article 12 of this Lease.

Home: the residential structure and other permanent improvements located on the Leased Land and owned by the Homeowner, including both the original Home described in Exhibit ___ : DEED, and all permanent improvements added thereafter by Homeowner at Homeowner's expense.

KULSHAN CLT: Kulshan Community Land Trust, a Washington non-profit corporation, or any successor in interest thereto which has assumed the rights, duties and responsibilities of Kulshan Community Land Trust under this Lease.

Lease: This Lease, together with all Exhibits, Attachments and amendments hereto.

Lease Fee: The monthly fee that the Homeowner pays to the KulshanCLT for the continuing use of the Leased Land and any additional amounts that the KulshanCLT charges to the Homeowner for reasons permitted by this Lease.

b) Should the Home lie in a flood hazard zone as defined by the National Flood Insurance Plan, the Homeowner shall keep in full force and effect flood insurance in the maximum amount available.

c) The Homeowner shall also, at its sole expense, maintain in full force and effect public liability insurance using ISO Form HO 00 03, or its equivalent, in the amount of \$300,000.00 per occurrence and in the aggregate. The KulshanCLT shall be named as an additional insured using ISO Form HO 04 41 or its equivalent, and certificates of insurance shall be delivered to the KulshanCLT prior to the commencement of the Lease and at each anniversary date thereof.

d) The dollar amounts of such coverage may be increased from time to time at the KulshanCLT's request but not more often than once in any one-year period. KulshanCLT shall inform the Homeowner of such required increase in coverage at least 30 days prior to the next date on which the insurance policy is to be renewed, and the Homeowner shall assure that the renewal includes such change. The amount of such increase in coverage shall be based on current trends in homeowner's liability insurance coverage in the area in which the Home is located.

9.5 WHAT HAPPENS IF HOME IS DAMAGED OR DESTROYED. Except as provided below, in the event of fire or other damage to the Home, Homeowner shall take all steps necessary to assure the repair of such damage and the restoration of the Home to its condition immediately prior to the damage. All such repairs and restoration shall be completed as promptly as possible. Homeowner shall also promptly take all steps necessary to assure that the Leased Land is safe and that the damaged Home does not constitute a danger to persons or property.

a) If Homeowner, based on professional estimates, determines either (a) that full repair and restoration is physically impossible, or (b) that the available insurance proceeds will pay for less than the full cost of necessary repairs and that Homeowner cannot otherwise afford to cover the balance of the cost of repairs, then Homeowner shall notify KulshanCLT of this problem, and KulshanCLT may then help to resolve the problem. Methods used to resolve the problem may include efforts to increase the available insurance proceeds, efforts to reduce the cost of necessary repairs, efforts to arrange affordable financing covering the costs of repair not covered by insurance proceeds, and any other methods agreed upon by both Homeowner and KulshanCLT.

b) If Homeowner and KulshanCLT cannot agree on a way of restoring the Home in the absence of adequate insurance proceeds, then Homeowner may give KulshanCLT written notice of intent to terminate the Lease. The date of actual termination shall be no less than 60 days after the date of Homeowner's notice of intent to terminate. Upon termination, any insurance proceeds payable to Homeowner for damage to the Home shall be paid as follows.

FIRST, to the expenses of their collection;

SECOND, to any Permitted Mortgagee(s), to the extent required by the Permitted Mortgage(s);

THIRD, to the expenses of enclosing or razing the remains of the Home and clearing debris;

FOURTH, to the KulshanCLT for any amounts owed under this Lease;

FIFTH, to the Homeowner, up to an amount equal to the Purchase Option Price, as of the day prior to the loss, less any amounts paid with respect to the second, third, and fourth clauses above;

SIXTH, the balance, if any, to the KulshanCLT.

9.6 WHAT HAPPENS IF SOME OR ALL OF THE LAND IS TAKEN FOR PUBLIC USE. a) If all of the Leased Land is taken by eminent domain or otherwise for public purposes, or if so much of the Leased Land is taken that the Home is lost or damaged beyond repair, the Lease shall terminate as of the date when Homeowner is required to give up possession of the Leased Land. Upon such termination, the entire amount of any award(s) paid shall be allocated in the way described in Section 9.5 above for insurance proceeds.

b) In the event of a taking of a portion of the Leased Land that does not result in damage to the Home or significant reduction in the usefulness or desirability of the Leased Land for residential purposes, then any monetary compensation for such taking shall be allocated entirely to KulshanCLT.

c) In the event of a taking of a portion of the Leased Land that results in damage to the Home only to such an extent that the Home can reasonably be restored to a residential use consistent with this Lease, then the damage shall be treated as damage is treated in Section 9.5 above, and monetary compensation shall be allocated as insurance proceeds are to be allocated under Section 9.5.

9.7 IF PART OF THE LAND IS TAKEN, THE LEASE FEE MAY BE REDUCED. In the event of any taking that reduces the size of the Leased Land but does not result in the termination of the Lease, KulshanCLT shall reassess the fair rental value of the remaining Land and shall adjust the Lease Fee if necessary to assure that the monthly fee does not exceed the monthly fair rental value of the Land for use as restricted by the Lease.

9.8 IF LEASE IS TERMINATED BY DAMAGE, DESTRUCTION OR TAKING, KULSHANCLT WILL TRY TO HELP HOMEOWNER BUY ANOTHER KULSHANCLT HOME. If this Lease is terminated as a result of damage, destruction or taking, KulshanCLT shall take reasonable steps to allow Homeowner to purchase another home on another parcel of leased land owned by KulshanCLT if such home can reasonably be made available. If Homeowner purchases such a home, Homeowner agrees to apply any proceeds or award received by Homeowner to the purchase of the home. Homeowner understands that there are numerous reasons why it may not be possible to make such a home available, and shall have no claim against KulshanCLT if such a home is not made available.

ARTICLE 10: Transfer of the Home

10.1 INTENT OF THIS ARTICLE IS TO PRESERVE AFFORDABILITY: Homeowner and KulshanCLT agree that the provisions of this Article 10 are intended to preserve the affordability of the Home for lower income households and expand access to homeownership opportunities for such households.

10.2 HOMEOWNER MAY TRANSFER HOME ONLY TO KULSHANCLT OR QUALIFIED PERSONS: a) Homeowner may transfer the Home only to the KULSHANCLT or an Income-Qualified Person as defined below or otherwise only as explicitly permitted by the provisions of this Article 10. All such transfers are to be completed only in strict compliance with this Article 10. Any purported transfer that does not follow the procedures set forth below, except in the case of a transfer to a Permitted Mortgagee in lieu of foreclosure, shall be null and void.

b) "Income-Qualified Person" shall mean a person or group of persons whose household income does not exceed eighty percent (80%) of the median household income for the applicable Standard Metropolitan Statistical Area or County as calculated and adjusted for household size from time to time by the U.S. Department of Housing and Urban Development (HUD) or any successor.

10.3 THE HOME MAY BE TRANSFERRED TO CERTAIN HEIRS OF HOMEOWNER: If Homeowner dies (or if the last surviving co-owner of the Home dies), the executor or personal representative of Homeowner's estate shall notify KulshanCLT within ninety (90) days of the date of the death. Upon receiving such notice KulshanCLT shall consent to a transfer of the Home and Homeowner's rights to the Leased Land to one or more of the possible heirs of Homeowner listed below as "a," "b," or "c," provided that a Letter of Agreement and a Letter of Attorney's Acknowledgment (as described in Article 1 above) are submitted to KulshanCLT to be attached to the Lease when it is transferred to the heirs.

- a) the spouse of the Homeowner; or
- b) the natural or adopted child or children of the Homeowner; or
- c) member(s) of the Homeowner's household who have resided in the Home for at least one year immediately prior to Homeowner's death.

Any other heirs, legatees or devisees of Homeowner, in addition to submitting Letters of Agreement and Attorney's Acknowledgment as provided above, must demonstrate to KulshanCLT's satisfaction that they are Income-Qualified Persons as defined above. If they cannot demonstrate that they are Income-Qualified Persons, they shall not be entitled to possession of the Home but must transfer the Home in accordance with the provisions of this Article.

10.4 HOMEOWNER MUST GIVE NOTICE OF INTENT TO SELL: In the event that Homeowner wishes to sell Homeowner's Property, Homeowner shall notify KulshanCLT, in writing, of such wish (the Intent-to-Sell Notice). This Notice shall include a statement as to whether Homeowner wishes to recommend a prospective buyer as of the date of the Notice.

10.5 UPON RECEIVING NOTICE, KULSHANCLT HAS AN OPTION TO PURCHASE THE HOME. a) Upon receipt of an Intent-to-Sell Notice from Homeowner, KulshanCLT shall have the option to purchase the Home at the Purchase Option Price calculated as set forth below. The Purchase Option Price is designed to further the purpose of preserving the affordability of the Home for succeeding Income-Qualified Persons while taking fair account of the investment by the Homeowner.

b) If KulshanCLT elects to purchase the Home, KulshanCLT shall exercise the Purchase Option by notifying Homeowner, in writing, of such election (the Notice of Exercise of Option) within forty-five (45) days of the receipt of the Intent-to-Sell Notice, or the Option shall expire. Having given such notice, KulshanCLT may either proceed to purchase the Home directly or may assign the Purchase Option to an Income-Qualified Person.

c) The purchase (by KulshanCLT or KulshanCLT's assignee) must be completed within sixty (60) days of KulshanCLT's Notice of Exercise of Option, or Homeowner may sell the Home and Homeowner's rights to the Leased Land as provided in Section 10.7 below. The time permitted for the completion of the purchase may be extended by mutual agreement of KulshanCLT and Homeowner.

d) Homeowner may recommend to KulshanCLT a prospective buyer who is an Income-Qualified Person and is prepared to submit Letters of Agreement and Attorney's Acknowledgment indicating informed acceptance of the terms of this Lease. KulshanCLT shall make reasonable efforts to arrange for the assignment of the Purchase Option to such person, unless KulshanCLT determines that its charitable mission is better served by retaining the Home for another purpose or transferring the Home to another party.

10.6 IF PURCHASE OPTION EXPIRES, HOMEOWNER MAY SELL ON CERTAIN TERMS: If the Purchase Option has expired or if KulshanCLT has failed to complete the purchase within the sixty-day period allowed by Section 10.5 above, Homeowner may sell the Home to any Income-Qualified Person for not more than the then applicable Purchase Option Price. If Homeowner has made diligent efforts to sell the Home for at least six months after the expiration of the Purchase Option (or six months after the expiration of such sixty-day period) and the Home still has not been sold, Homeowner may then sell the Home, for a price no greater than the then applicable Purchase Option Price plus an amount allowing for repayment of the principal and accrued interest, if any, of all indebtedness owed to the City of Bellingham and the Federal Home Loan Bank, in any party regardless of whether that party is an Income-Qualified Person.

10.7 AFTER ONE YEAR KULSHANCLT SHALL HAVE POWER OF ATTORNEY TO CONDUCT SALE: If KulshanCLT does not exercise its option and complete the purchase of Homeowner's Property as described above, and if Homeowner (a) is not then residing in the Home and (b) continues to hold Homeowner's Property out for sale but is unable to locate a buyer and execute a binding purchase and sale agreement within one year of the date of the Intent to Sell Notice, Homeowner does hereby irrevocably appoint KulshanCLT its attorney in fact to seek a buyer, negotiate a reasonable price that furthers the purposes of this Lease, sell the property, and pay to the Homeowner the proceeds of sale, minus KulshanCLT's costs of sale and any other sums owed KulshanCLT by Homeowner. Such appointment and power of attorney shall be effective as of the date one year (365 days) after the date of the Intent to Sell Notice. If the power of Attorney granted by this section becomes effective, it shall divest Homeowner of the power to sell the Home.

NOTICE OF PUBLIC MEETING

You are invited to attend a meeting being held by Kulshan Community Land Trust at Shuksan Middle School, 2717 Alderwood Ave, Bellingham, WA 98225 on Thursday, August 29th 2013 at 6:00pm to introduce the following proposed project:

Kulshan Community Land Trust, a non-profit community development organization, proposes building three permanently affordable homes at 2939 Lafayette St. Bellingham, WA 98225 in the Birchwood Neighborhood.

Utilizing the City of Bellingham's Demonstration Program for Innovative Permanently Affordable Homeownership Projects (BMC 20.27), KulshanCLT requests a 50% density bonus which will allow three homes on two existing lots. This meets the primary goal of the demonstration ordinance in maximizing density and creating innovative permanently affordable homeownership projects.

These homes, similar to homes recently built by KulshanCLT nearby, will exceed energy efficiency requirements, feature solar energy, and will be compact in design. Using the CLT model, these homes will be sold to low to moderate income buyers at or below 80% area median income.

KulshanCLT has successfully developed seventeen new construction projects. These three homes represent the final phase of eight homes (ten housing units) in the Birchwood Neighborhood close to schools, services, and transportation.

KulshanCLT is committed to providing permanently affordable homeownership opportunities throughout Whatcom County with a focus on neighborhoods with high concentrations of rental units or high turnover rates at nearby schools, such as the Birchwood Neighborhood.

To date, KulshanCLT has 110 homes in trust and has served over 135 families since 1999.

We are holding this meeting to tell you about the proposal and invite your comments and questions. As required by the City of Bellingham, it is being conducted before we apply for land use permits (or plan amendments, as applicable.) We can be reached by contacting Dean Fearing at (360) 671-5600x106 if you have any questions regarding the meeting.

PRE-APPLICATION NEIGHBORHOOD MEETING ATTENDEES

Thursday, August 29th 2013

Shuksan Middle School, 2717 Alderwood Ave.

Project Site: 2939 Lafayette St. Bellingham, WA 98225

1. Dean Fearing, Kulshan CLT
Project Applicant
2. Erin Bren, KulshanCLT
Project Applicant
3. Greg Robinson, Greg Robinson Architect
Project Architect
4. Kurt Nabbefeld, City of Bellingham
Senior Planner
5. Kurt Baumgarten & Emily Jones
Owners of adjacent property to south of project site
6. Elizabeth Li
Owner of property to south of project site
7. Jack Weiss
Birchwood Neighborhood resident
8. Unknown
Birchwood Neighborhood resident
9. Unknown
Birchwood Neighborhood resident
10. Unknown
Birchwood Neighborhood resident

EXHIBIT C

December 26, 2013

Lindsay Kershner – Planner
Planning and Community Development Department
City of Bellingham
210 Lottie Street
Bellingham, WA 98225

RE: Kulshan Community Land Trust (KCLT) - PDC2013-00011, DRC2013-00017, SUB2013-00029

Dear Ms. Kershner-

My wife, Emily, and I respectfully submit the following comments regarding the proposed KCLT development at 2939 Lafayette Street. Emily and I have been strong KCLT supporters for over a decade and we own the two lots (7&8) immediately south of the proposal. As you know, we are currently in the process of developing the alley that this project will likely use for access and the City Parks trail that will front the homes (ES-0480). Additionally, we hope to build our own home next door in the very near future. As such, we are in a unique position to provide comment.

We are extremely supportive of this project as proposed in the drawing provided to us with the "Notice of Application." We trust KCLT will build high quality energy efficient homes that fit the neighborhood character and remain permanently affordable. These homes will be an asset to the neighborhood and community at large as is evident by the six other KCLT homes in the immediate vicinity.

Our comments fall into three main categories – lot orientation and parking, fencing, and exterior storage. The following should help provide appropriate mitigation for the requested additional 50% density bonus.

Lot Orientation and Parking

The proposed orientation of the lots and location of parking for the homes represents the best access while retaining the maximum street parking on W. Indiana for visitors. Alley access keeps the section of W. Indiana immediately adjacent to Lot 1 available for on street parking. Additionally, the proposed lot configuration results in only one residence abutting our property line. This is far more desirable than having multiple backyards (and neighbors) facing our side yard.

Fencing

Fencing is proposed for the garbage enclosures and along the property line shared with our lot (8). Both of these fences are appropriate mitigation for the increased density and reduced lot size. We are very supportive of the locations of the fencing as depicted in the application drawing.

Exterior Storage

As proposed, there is no exterior storage for any of the residences. We propose that enough exterior storage be provided to accommodate basic yard maintenance tools.

Perhaps, to keep cost down, one storage unit could be shared by the two attached single family units resulting in a total of two small storage units.

Thank you for consideration of our comments. We look forward to seeing this important project come to fruition.

Sincerely,

Kurt and Emily

Kurt Baumgarten and Emily Jones
2807 Patton St.
Bellingham, WA 98225
360.671.1975



PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

210 Lottie Street, Bellingham, WA 98225

Telephone: (360) 778-8300 Fax: (360) 778-8302

DESIGN REVIEW PERMIT for 2939 Lafayette Street DRC2013-00017

- Proposal:** Construction of a detached single family residence and an attached single family residence through the Demonstration Program for Innovative Permanently Affordable Homeownership (Program), Bellingham Municipal Code (BMC) 20.27. The Program requires that design review is conducted for the project.
- Location:** 2939 Lafayette Street; Birchwood Neighborhood, Area 14; Residential Multi, Duplex zoning designation
- Legal Description:** Lots 9-10, Block 10, Eldridge's 2nd Addition to Bellingham
- Owner:** Kulshan Community Land Trust (KCLT), 1303 Commercial St. Ste. 6, Bellingham, WA 98225-4349
- Applicant:** Dean Fearing, Kulshan Community Land Trust, 1303 Commercial St. Ste.6., Bellingham, WA 98225. (360) 671-5600
- Decision:** Approved with Conditions.
- Date:** February 5th, 2014
- Attachments:** 1 - Site and Construction Plans
2 - Model Color Rendering

I. FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The subject property is in Area 14 of the Birchwood Neighborhood and the zoning designation is Residential Multi, Duplex with a density of 4,000 square feet per unit. The property is located on the northeast corner of Lafayette and W. Indiana Streets, is currently developed with a detached single family residence and garage, and the topography is flat. The size of the lot is 8,960 square feet.
2. Surrounding zoning and land uses consist of:
 - North: Across W. Indiana Street are detached single family residences with the same zoning as the subject property.
 - South: Undeveloped property with the same zoning as the subject property.

- East: Undeveloped Lafayette St. right-of-way and Squalicum Creek Park (Public).
 - West: Across the alley that is under construction, are two detached single family residences.
3. Lafayette Street is 55-feet wide and is undeveloped, except for an informal trail. The trail is used by the public as a connection between Squalicum Creek Park and the Bay to Baker trail. W. Indiana St., abutting the site, was improved with the Harrid Pack Short plat. A variance from the street standards was approved by the Hearing Examiner (HE-07-PL-031) to not construct W. Indiana St. to the minimum standard. The alley is under construction and proposed to be the primary access for this proposal. The property owners south of the subject property received a variance (HE-13-PW-005) from having to construct Lafayette St. and are currently improving the alley for access to Lots 5-8 and the trail in Lafayette St.
 4. KCLT proposes to demolish the existing buildings, subdivide the subject property into three lots, and develop the proposed Lots 1 & 2 with an attached single family residence and the proposed Lot 3 with a detached single family residence. The dwelling units would each have a floor area of 1,200 square feet and the lots would use the alley for access. The attached Lots 1-2 would be 2,800 square feet and lot 3 would be 3,360 square feet.
 5. The current zoning only allows two dwelling units on the subject property, but the Program allows for an earned increased density of up to 50 percent over the otherwise allowable density in the applicable residential zone if 100 percent of the dwelling units in the project are provided and retained as permanently affordable owner-occupied homes, subject to the eligibility requirements (BMC 20.27.030). The Program requires City Council project approval. Therefore, if the project is approved by City Council, the proposal to develop the property with three dwelling units would be allowed.
 6. The Program allows the applicant to request modifications from the required development regulations. The applicant has (for both the detached single family residence and attached single family residence) requested modifications from the minimum lot size, minimum street frontage, and setbacks (specifics shown on the short plat site plan).
 7. BMC 20.27.030D requires single-family housing projects receiving earned increased density under this chapter to comply with the design review process and site location criteria for multifamily residential development in BMC 20.25 to protect, maintain, or enhance neighborhood character and compatibility.
 8. To initiate the subject proposal, the applicant completed a pre-application conference with City Staff on August 13, 2013.
 9. The applicant held a Neighborhood Meeting for the proposed project on August 29, 2013. Seven members of the public attended the meeting. Overall, the attendees were in favor of the project.
 10. The subject design review application (DRC2013-0017) was submitted on October 9, 2013.
 11. On October 9, 2013, along with the subject design review application, KCLT submitted planned permit and short subdivision applications to comply with the requirements in the Program, BMC 20.27. The Hearing Examiner makes a recommendation on the Program and short plat, then City Council decides both applications.
 12. Per BMC 20.27.040 E, the director's decision for the subject design review permit should be forwarded to the hearing examiner with staff's recommendation on the Program and short subdivision.

13. On November 6, 2013 the City issued a Notice of Complete Application and Request for Information (RFI) to show compliance with specific requirements of the Program and the design of the buildings did not appear to meet some of the multifamily design review guidelines (MFDR).
14. On November 26, 2013, the applicant submitted the requested information and did not revise the materials to reflect all of the request. The applicant did not wish to modify the proposal based on Staff's comments regarding the project not complying with all of the multifamily design review guidelines.
15. On December 11, 2013, Staff sent another RFI requesting that the buildings are modified to comply with the MFDR.
16. A Notice of Application was issued on December 13, 2013 and sent to all property owners within 500' of the subject site. Staff received one comment in response to the notice. The comment was from the owners of the vacant lots immediately south of the subject property who are supportive of the project and the design, but they requested that KCLT plan for storage needs of the future homeowners by providing storage sheds.
17. On December 16, 2013 the applicant submitted revised building designs in response to the December 11, 2013 RFI.
18. On January 14, 2013, the applicant elected to submit a revised design for the detached single family residence.
19. Mark Young with the Bellingham Police Department reviewed the project for compliance with the Crime Prevention through Environmental Design (CPTED) principles and made recommendations to apply them to the project.
20. Leslie Bryson with the Parks Department reviewed the proposed connections between the east side of the residences to the public trail. Recommendations were made on how best to provide privacy for the residences and public, while still meeting the CPTED guidelines.
21. The proposal meets the MFDR standards because the building locations and design are compatible with the existing character of this area of the Birchwood Neighborhood.
22. The orientation of the buildings toward undeveloped Lafayette St. and the covered front porches will provide the home owners with a view of Squalicum Creek park and Mt. Baker, while enhancing safety through visibility and lighting for citizens using the public trail.
23. Adequate provisions for stormwater will be provided on the proposed Lots 1-3 and the development will comply with the stormwater development regulations in BMC 15.42.
24. The proposed development, as conditioned in Section II herein, conforms to the multifamily design review requirements in BMC 20.25 and should be approved.
25. Any Finding of Fact that should be denominated a Conclusion of Law shall be deemed to be a Conclusion of Law. Any Conclusion of Law that should be denominated a Finding of Fact shall be deemed to be a Finding of Fact

II. DECISION AND CONDITIONS

Based upon the Findings of Fact and Conclusions, the Director of Planning and Community Development or Designee, approves the Design Review Permit DRC2013-00017, for the plans in ATTACHMENTS 1 and 2, subject to the following conditions:

A. Conditions:

1. City Council shall approve an ordinance for the subject development through the Demonstration Program for Innovative Permanently Affordable Home ownership, BMC 20.27.
 2. The development shall be consistent with the elevations and renderings on **Attachments 1 and 2**.
 3. Landscaping shall be generally consistent with the Landscaping Plan in **Attachment 1, Sheets L - 1 and 2**, including the following:
 - a. A street tree permit shall be obtained to plant three trees in the Lafayette street right-of-way.
 - b. Landscaping that includes a mix of trees, shrubs, and ground covers, shall be provided in the Lafayette St. right-of-way to provide a buffer between the proposed residences and the public trail. The PCDD shall approve the design and location.
 - c. Any fencing proposed within the Lafayette St. right-of-way shall not exceed 3' 6" and the design shall allow for visibility between the residences and the public trail. All fencing shall be reviewed by the Planning and Community Development Department prior to installation.
 - d. The location and design of the pathways leading from the east side of the residences are subject to approval of the PCDD and Parks Department.
 4. The following CPTED principles shall be applied as recommended by Mark Young with the Bellingham Police Department:
 - a. On the east and west sides of each dwelling unit the address numbers shall be clearly visible and outdoor light fixtures installed near the covered porches. The style of the light fixtures shall be typical of residential outdoor light fixtures.
 - b. Remove some of the lower limbs of the existing Douglas Fir tree to provide more light and visibility on the west side of Lot 1.
- B.** This application is subject to the applicable requirements contained in the Bellingham Municipal Code, and Fire and Building Codes. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these codes. Any element(s) of the project design that is conditioned in the design review approval, but not in compliance with other applicable codes, may be subject to design review in the event correcting such element(s) requires redesign.

III. AMENDMENTS

Amendments to this Design Review Permit may be requested by the owner and approved by the Planning and Community Development Department in writing, provided such amendments do not substantially change or alter major elements of the project.

IV. EXPIRATION

The subject Design Review Permit decision is valid for two (2) years from the date of issuance unless a completed building permit application, with the other required concurrent submittals, is submitted and determined to be complete prior to such date.

V. APPEAL


Pursuant to BMC 21.10.110(J) this Design Review Permit decision may be appealed within 14-days from the date of this decision to the City's Hearing Examiner. Procedures for appeal to the Hearing Examiner are contained within BMC 21.10.250.

Prepared By



Lindsay Kershner
Planner I

Departmental Approval



Kurt Nabbefeld
Senior Planner



GREG ROBINSON ARCHITECT

103 East Holly Street, Suite 417
Bellingham, Washington 98225
Tel: 360.778.1385

GregRobinsonArchitect.com

PROJECT DESCRIPTION

Construction of 27,000 Square Feet 3 Bedroom Single Family Attached Residences (labeled Units A and B on site plan) for Kulshan Community Land Trust (KCLT) on owners property at 2939 Lafayette St. Bellingham, WA 98225. Parcel 50613 / 3802240813450000 Legal Description: Ektaridge second addition to Bellingham Lots 9-10 Block 10 - Exc Coal Deposits

SQUARE FOOTAGE:	FIRST FLOOR UNIT A:	6,000 SF
	SECOND FLOOR UNIT A:	6,000 SF
	TOTAL UNIT A:	12,000 SF
	FIRST FLOOR UNIT B:	6,000 SF
	SECOND FLOOR UNIT B:	6,000 SF
	TOTAL UNIT B:	12,000 SF

LIST OF DRAWINGS

- A-1 COVER SHEET
- A-2 SITE PLAN
- A-3 LOWER FLOOR PLAN
- A-4 UPPER FLOOR PLAN AND SCHEDULES
- A-5 SECTIONS AND DETAILS
- A-6 ELEVATIONS
- A-7 FOUNDATION PLAN AND DETAILS
- A-8 UPPER FLOOR AND ROOF FRAMING PLANS
- A-9 FRAMING DETAILS

E-1 ELECTRICAL / LIGHTING PLANS

DESIGN CRITERIA

CODE:	2009 IRC AND LOCAL AMENDMENTS
SEISMIC ZONE:	D1
WIND SPEED:	50 mph (THREE SECOND GUST)
EXPOSURE:	B
SNOW LOAD:	25 lb/ft ² - GROUND AND ROOF
RAIN:	2" HOUR FOR ROOF DRAINAGE DESIGN
SOIL:	PER IRC TABLE R405.1, IBC SECTION 1804.10"
FROST DEPTH:	
MAXIMUM ALLOWABLE SOIL BEARING CAPACITY:	7,000 lb/sq ft
SOIL CLASSIFICATION TYPE:	GROUP IV

ENERGY CODE COMPLIANCE

CODE:	CURRENT USEC
CLIMATE ZONE:	1
HEAT SOURCE:	ELECTRIC MINI-SPLIT HEAT PUMP
R-VALUE PLAT CEILINGS:	R-45
R-VALUE EXTERIOR WALLS:	R-30
R-VALUE FLOORS:	R-30
R-VALUE SLAB ON GRADE:	R-10
DOORS:	MIN U-VALUE @30
WINDOWS:	MIN U-VALUE @30

ARCHITECT:

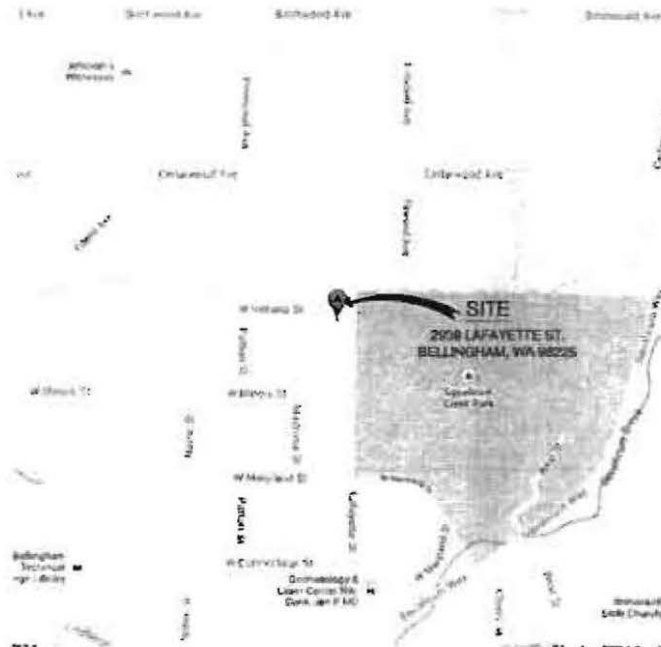
GREG ROBINSON ARCHITECT
103 E HOLLY STREET SUITE 417
BELLINGHAM, WA 98225
PHONE: 360-778-1385

OWNER:

KULSHAN COMMUNITY LAND TRUST
(KCLT)
1303 COMMERCIAL ST. SUITE 6
BELLINGHAM, WA 98225
PHONE: (360) 671-9600
FAX: (360) 676-8777
CONTACT: DEAN PEARING

GENERAL CONTRACTOR

THE CASCADE JOINERY
1349 PACIFIC PLACE
FERNDALE WA 98248
PHONE: (360) 971-8119
FAX: (360) 971-8144
CONTACT: JOHN MILLER



VICINITY MAP
SCALE: NTS
NORTH

KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOTS 1 AND 2 DUPLEX UNIT
COVER SHEET

PERMIT SET 124-13

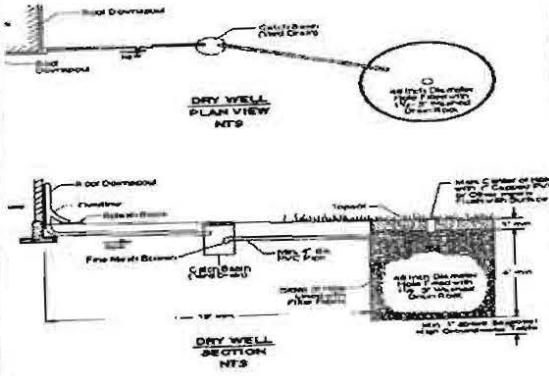
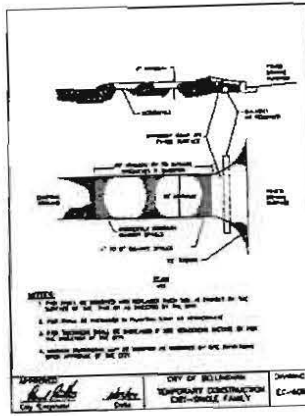
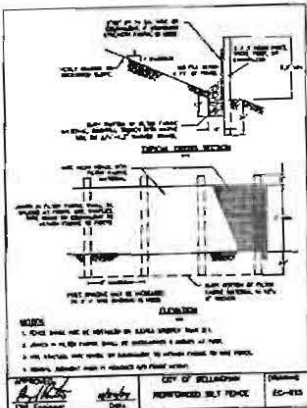
Revisions

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OF 9

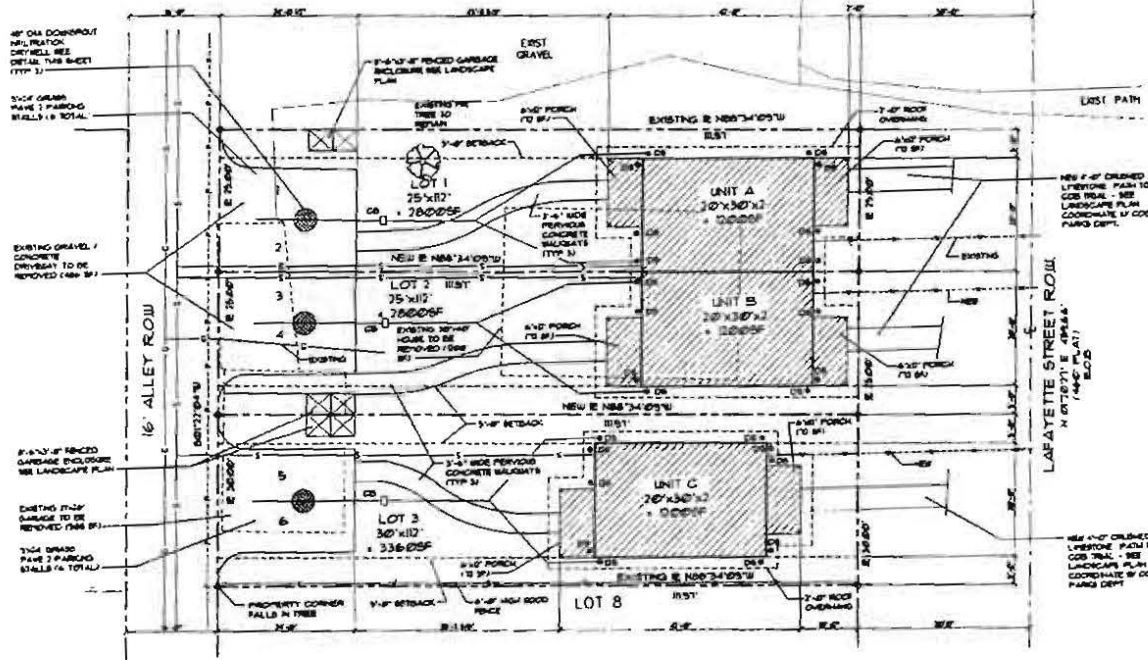
The end

GENERAL CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN

- Purpose:**
To prevent the discharge of sediment and other pollutants to the receiving water body from construction activities.
- Design and Installation:**
Plan and placement prior to clearing and grading of the site. It is the contractor's responsibility to ensure the correct location, height, and slope of the structure. It is the contractor's responsibility to ensure that the structure is properly installed and maintained.
- Notes:**
1. Clearing shall be limited to the area of the project site prior to installing structures.
 2. From October 1 through April 30, no soil shall remain exposed and unshielded for more than 30 days. From May 1 to September 30, no soil shall remain exposed and unshielded for more than 60 days.
 3. Soil shall be managed in a manner that does not cause sediment to be transported off-site and to the receiving water body. This shall include, but is not limited to, the use of mulch, straw, or other erosion control measures. The plan shall include a schedule for the installation and maintenance of these measures.
 4. Located any and all other storm water management structures that shall be located to prevent or reduce the risk of erosion on the project or surrounding property. They should be installed on the project site as soon as the project is completed.
 5. Sediment treatment with an inlet and outlet shall be provided. This will ensure that sediment is captured and does not enter the receiving water body. The inlet shall be located at the top of the structure and the outlet shall be located at the bottom.
 6. Maintenance records shall be kept for the life of the structure. The records shall include the date of inspection, the name of the inspector, and the results of the inspection.
 7. The contractor shall be responsible for the maintenance of the structure. The contractor shall be responsible for the maintenance of the structure.
 8. The contractor shall be responsible for the maintenance of the structure. The contractor shall be responsible for the maintenance of the structure.



WEST INDIANA STREET ROW
(300' PLAT)



LAND USE INFORMATION

ADDRESS: 2939 LAFAYETTE ST
BELLINGHAM WA 98276

PARCEL NUMBER: 50100000000000000000

LEGAL DESCRIPTION: BLDG/RESIDENCE ADDITION TO BELLINGHAM LOTS 4-B BLOCK 10 - 2ND CDAL DEPOSITS

LOT SIZE: 3950 SQ FT (9' x 438' 10")

PROJECT DESCRIPTION: RECONSTRUCT ONE LOT INTO THREE LOTS TO CONSTRUCT ONE DETACHED 2-BED RESIDENCE AND ONE ATTACHED 2-BED DUPLEX LONG CONSTRUCTION HOLDING ORDINANCE 187C 2017

TOPOGRAPHY: FLAT - NO CUT AND FILL - LINE EXCAVATED HOLES ON SITE

APPLICANT: KCLT COMMUNITY LAND TRUST (KCLT) 1000 COMMERCIAL STREET SUITE 6 BELLINGHAM WA 98276

IMPERVIOUS SURFACES

EXISTING:
EXISTING HOUSE / GARAGE AND GRAVEL / CONCRETE DRIVEWAY TO BE REMOVED - NO REMAINING IMPERVIOUS SURFACES

NEW:

- HOUSE: 38'x27' x 208 SF x 3 UNITS = 1008 SF
- PORCHES: 6'x12' x 72 SF x 6 = 432 SF
- PERVIOUS PARKING: GRASS/PAVE 3 PARKING STALLS x 76 SF x 6 = 1368 SF
- PERVIOUS SIDEWALKS: 3'x10'x12' x 378 SF
- TOTAL IMPERVIOUS: 1773 SF
- TOTAL PERVIOUS: 1368 SF

NOT INCLUDING ALLEY ROW OR PATHS TO TRAIL IN LAFAYETTE ST.

LEGEND

- GAS LINE
- SEWER LINE
- WATER LINE
- TELEPHONE LINE
- POWER LINE
- FENCE LINE

SITE PLAN



KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98275
LOTS 1 AND 2 DUPLEX UNIT
SITE PLAN

PERMIT SET 124-13

Revisions

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14c LUR-2520

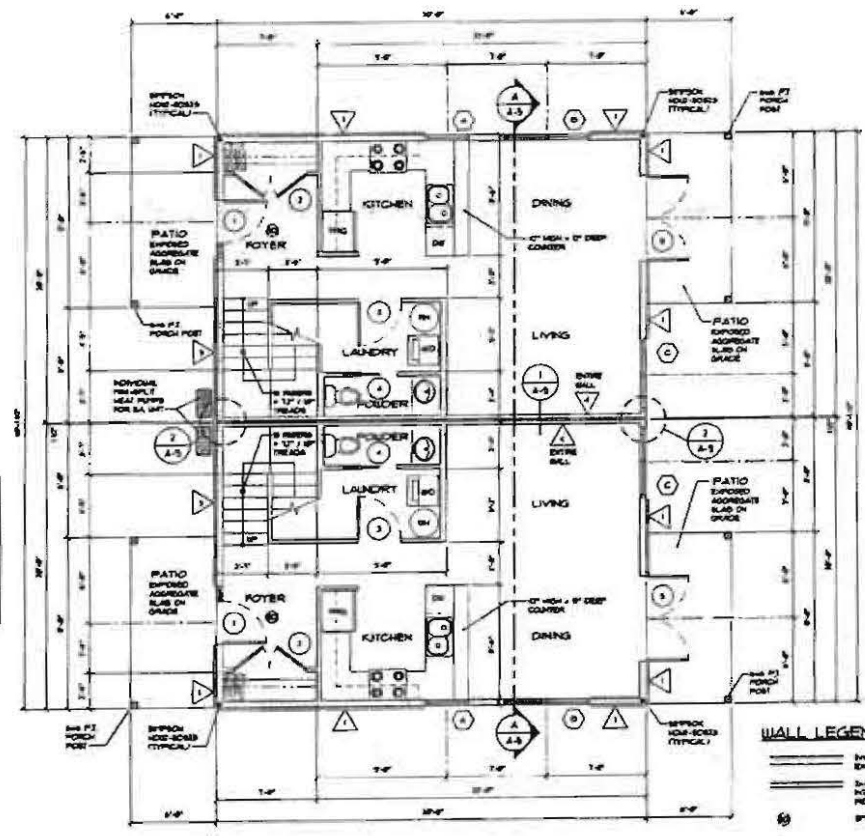
KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOTS 1 AND 2 DUPLEX UNIT
LOWER FLOOR PLAN

PERMIT SET 17-8-13
Revisions

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OF 9
16-10-2013

SHEAR WALL SCHEDULE						
TYPE	REINFORCEMENT	BOUNDARY	FIELD	MIN. ESD	PLATE	NOTES
	10" NO. 4 @ 16"	10" NO. 4 @ 16"	10" NO. 4 @ 16"	(1) 3/4"	10" NO. 4 @ 16"	SEE PLANS FOR HOLD DOWN
	10" NO. 4 @ 16"	10" NO. 4 @ 16"	10" NO. 4 @ 16"	(2) 3/4"	10" NO. 4 @ 16"	SEE PLANS FOR FLOOR TO FLOOR JOISTS
	10" NO. 4 @ 16"	10" NO. 4 @ 16"	10" NO. 4 @ 16"	(3) 3/4"	10" NO. 4 @ 16"	ALL PANEL EDGES SHALL BE BLOTTED
	10" NO. 4 @ 16"	10" NO. 4 @ 16"	10" NO. 4 @ 16"	(2) 3/4"	10" NO. 4 @ 16"	APPLY AT DIVIDER BETWEEN UNITS

- NOTES:
1. 10" NO. 4 @ 16" MAY BE 10" OR 8" @ 16" PLACING OF ONE BY EXTERIOR CLASSIFICATION CLASS. PROVIDED IN ACCORDANCE BY THE STANDARDS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
2. SEE WALLS SHALL HAVE A MIN. BARR. DIAMETER OF 8" AND A LENGTH OF 1'.



WALL LEGEND

- 1/4" OF NO. 4 @ 16" O.C. - EXTERIOR WALLS
- 3/4" OF NO. 4 @ 16" O.C. - INTERIOR WALLS EXCEPT AS NOTED FOR PLUMBING USE 1-4
- SMOKE DETECTOR
- SEE SHEAR WALL SCHEDULE FOR SHEET

LOWER FLOOR PLAN
SCALE 1/8" = 1'-0"



KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOTS 1 AND 2 DUPLEX UNIT
UPPER FLOOR PLAN AND SCHEDULES

FINISH SCHEDULE			
ROOM	FLOOR	WALLS (1)	CEILING
PORCH	STAINED CONCRETE	1" GAB	1" GAB
KITCHEN	STAINED CONCRETE	1" GAB	1" GAB
LAUNDRY	STAINED CONCRETE	1" GAB	1" GAB
PORCH	STAINED CONCRETE	1" GAB	1" GAB
LIVING	STAINED CONCRETE	1" GAB	1" GAB
DINING	STAINED CONCRETE	1" GAB	1" GAB
BEDROOM 1	CARPET	1" GAB	3/4" 1" GAB
BEDROOM 2	CARPET	1" GAB	3/4" 1" GAB
BEDROOM 3	CARPET	1" GAB	3/4" 1" GAB
BATH 1	MARBLE	1" GAB	3/4" 1" GAB
HALL	MARBLE	1" GAB	3/4" 1" GAB

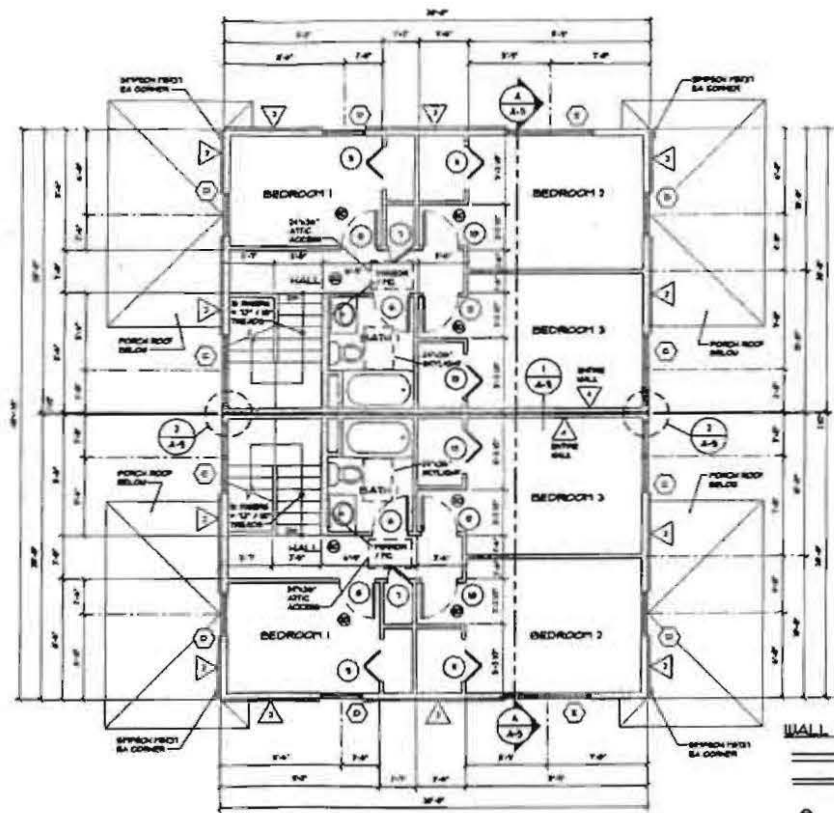
- NOTES:
1. CEILING FINISHED THE SAME AS ADJACENT ROOM
2. 3/4" 1" GAB REQUIRED FOR DRILLING UNIT SEPARATION WALL PER DETAILS ON A-3

DOOR SCHEDULE				
DOOR NUMBER	SWITCH	LOCATION	SIZE	TYPE
1	3	HALL	2'-0" x 1'-0"	1/2" GLAZED WOOD PANEL, 1/2" HOLD
2	3	HALL (CLSD)	2'-0" x 1'-0"	WOOD PANEL, 1/2"
3	3	LAUNDRY	2'-0" x 1'-0"	WOOD PANEL
4	3	PORCH	2'-0" x 1'-0"	WOOD PANEL, 1/2"
5	3	LIVING/DINING	2'-0" x 1'-0"	WOOD PANEL
6	3	BATH	2'-0" x 1'-0"	WOOD PANEL
7	3	HALL (CLSD)	2'-0" x 1'-0"	WOOD PANEL
8	3	BEDROOM 1	2'-0" x 1'-0"	WOOD PANEL
9	3	BEDROOM 2	2'-0" x 1'-0"	WOOD PANEL
10	3	BEDROOM 3	2'-0" x 1'-0"	WOOD PANEL
11	3	BEDROOM 1 (CLSD)	2'-0" x 1'-0"	WOOD PANEL
12	3	BEDROOM 2 (CLSD)	2'-0" x 1'-0"	WOOD PANEL
13	3	BEDROOM 3 (CLSD)	2'-0" x 1'-0"	WOOD PANEL

- NOTES:
1. GLAZED EXTERIOR (SCREEN) WALL HAVE THE U VALUE OF 0.30

WINDOW SCHEDULE				
WINDOW ID	SWITCH	SIZE	TYPE	TYPE
A	3	2'-0" x 2'-0"	CASSETTE	
B	3	2'-0" x 2'-0"	DOUBLE HUNG PANEL	
C	3	2'-0" x 2'-0"	DOUBLE HUNG PANEL	
D	3	2'-0" x 2'-0"	CASSETTE	
E	3	2'-0" x 2'-0"	CASSETTE PANEL	

- NOTES:
1. ALL WINDOWS SHALL GLAZED PIONEERGLASS WINDOWS.
2. DIMENSIONS ARE NOMINAL FRAME SIZES VERIFY ROUGH OPENINGS.
3. SEE EXTERIOR ELEVATIONS FOR DRILLE PATTERNS.
4. ALL WINDOWS MUST HAVE THE U-VALUE OF 0.30 OR BETTER.



WALL LEGEND
 1/2" OF NO. 1 1/2" O.C. EXTERIOR WALL
 3/4" OF NO. 1 1/2" O.C. INTERIOR WALLS EXCEPT AS NOTED FOR PLUMBING AND FIRE
 3/4" WOOD LATHING
 SEE SHEAR WALL SCHEDULE SHEET A-3

UPPER FLOOR PLAN
SCALE 1/8" = 1'-0"

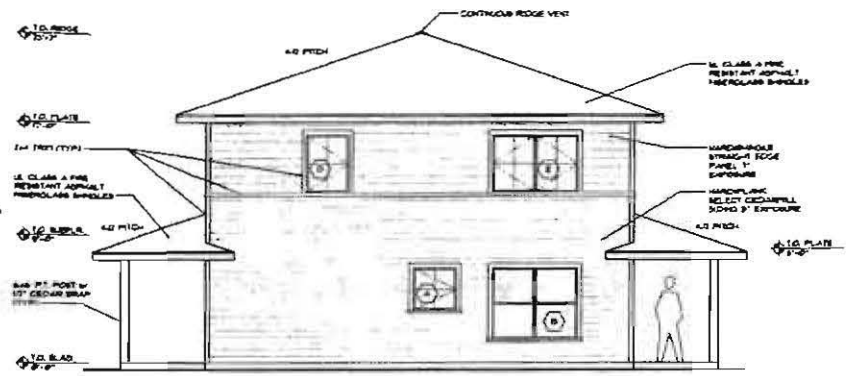
PERMIT SET 134-D
 Review

A-4
OF 9
File 14-7939

KCLT HOMES
 2939 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOTS 1 AND 2 DUPLEX UNIT
 ELEVATIONS



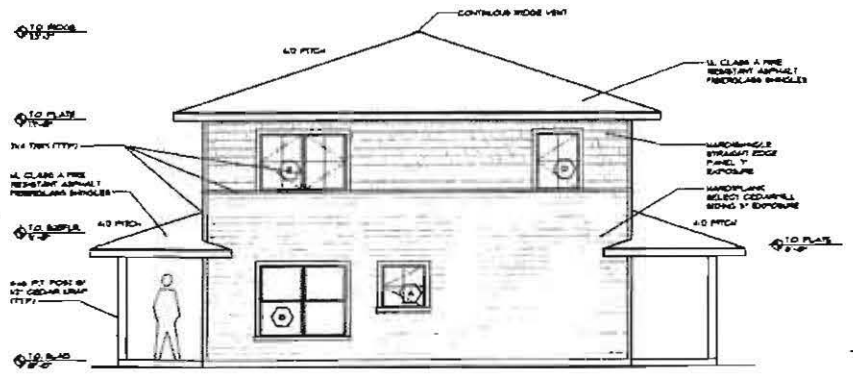
WEST ELEVATION
 SCALE 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE 1/8" = 1'-0"



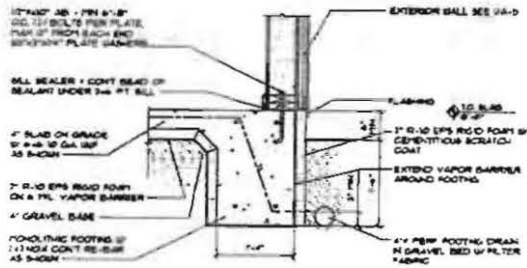
EAST ELEVATION
 SCALE 1/8" = 1'-0"



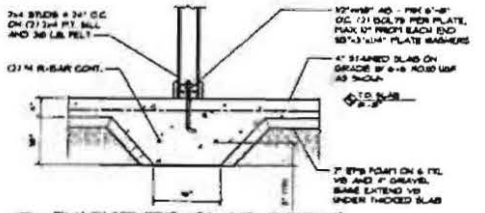
NORTH ELEVATION
 SCALE 1/8" = 1'-0"

PERMIT SET 12-6-13

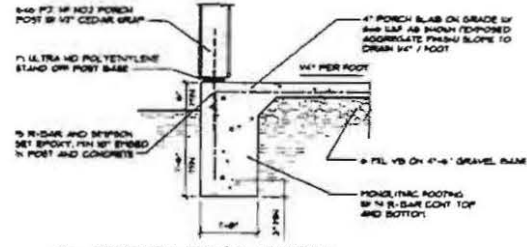
Revisions	



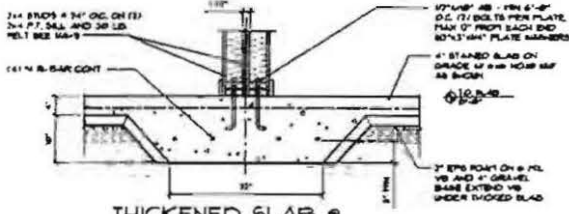
1 PERIMETER FOOTING
SCALE 1/4" = 1'-0"



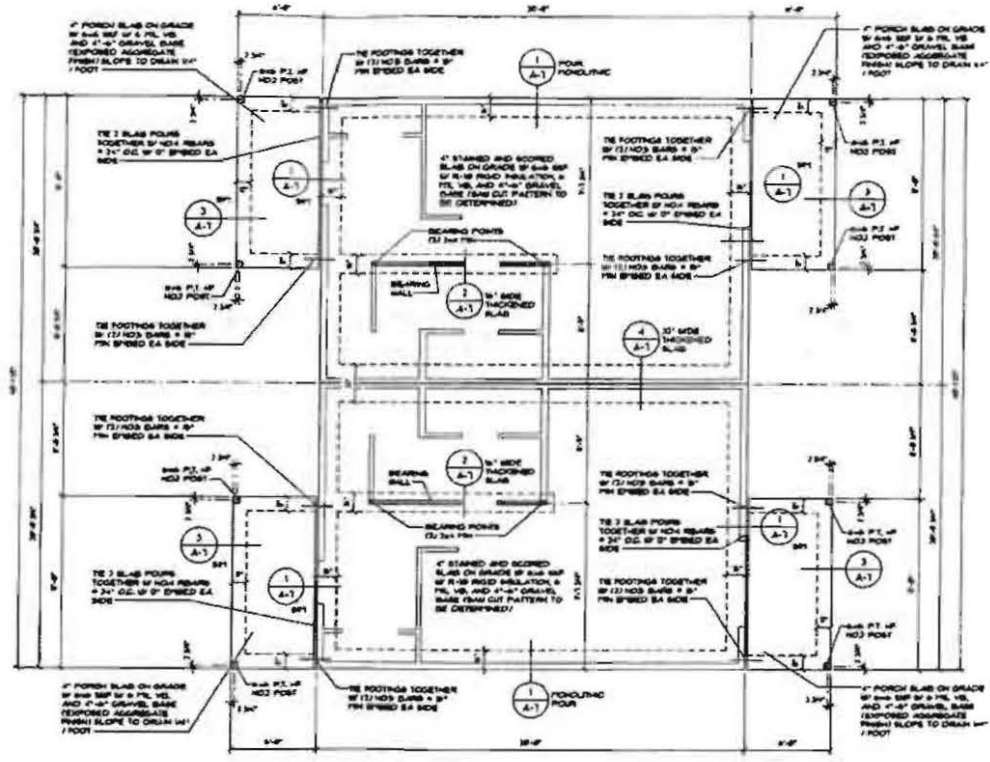
2 THICKENED SLAB DETAIL
SCALE 1/4" = 1'-0"



3 PORCH POST DETAIL
SCALE 1/4" = 1'-0"



4 THICKENED SLAB SEPARATION WALL
SCALE 1/4" = 1'-0"



NOTES:

1. MIN. COMPRESSIVE STRENGTH OF CONCRETE = 2.8 x 10³ PSI. ALL DATA ARE SUBJECT TO PERMITS - TANK DESIGN CONSTRUCTION.
2. ALL FOOTINGS TO BE ON UNDISTURBED SOIL OR ENGINEERED FILL.
3. ANCHOR BOLTS PROVIDED (1/2" DIA. ANCHOR BOLTS - MIN. 1' SPACED @ 12" ON CENTER PER PLATE, MAX. 3" FROM EACH END OF FOOTING PLATE MARKING).
4. CONCRETE SLAB IS FINISH FLOOR AND STAINED WITH ULTRA LOW VOC ACETONE CLEANING STAIN COLOR AND BASE ON PATTERN TO BE DETERMINED.

FOUNDATION PLAN
SCALE 1/4" = 1'-0"



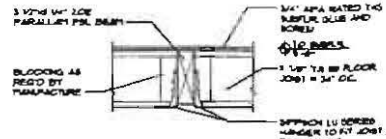
GRA
GREG ROBINSON
ARCHITECT
103 East Holly Street, Suite 417
Bellingham, Washington 98225
Tel 360.778.1385
GregRobinsonArchitect.com

KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOTS 1 AND 2 DUPLEX UNIT
FOUNDATION PLAN AND DETAILS

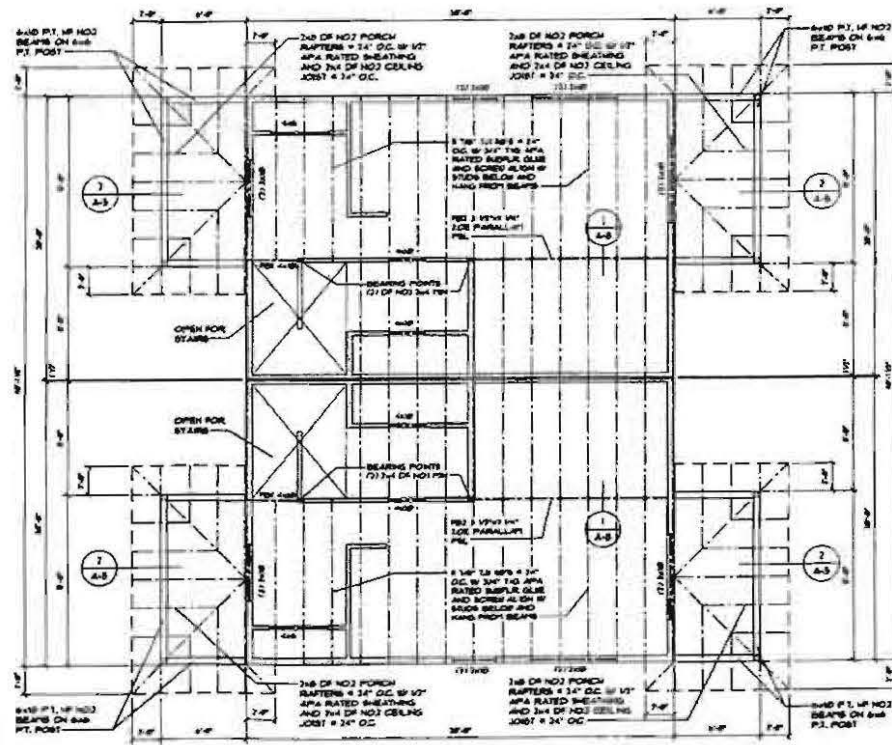
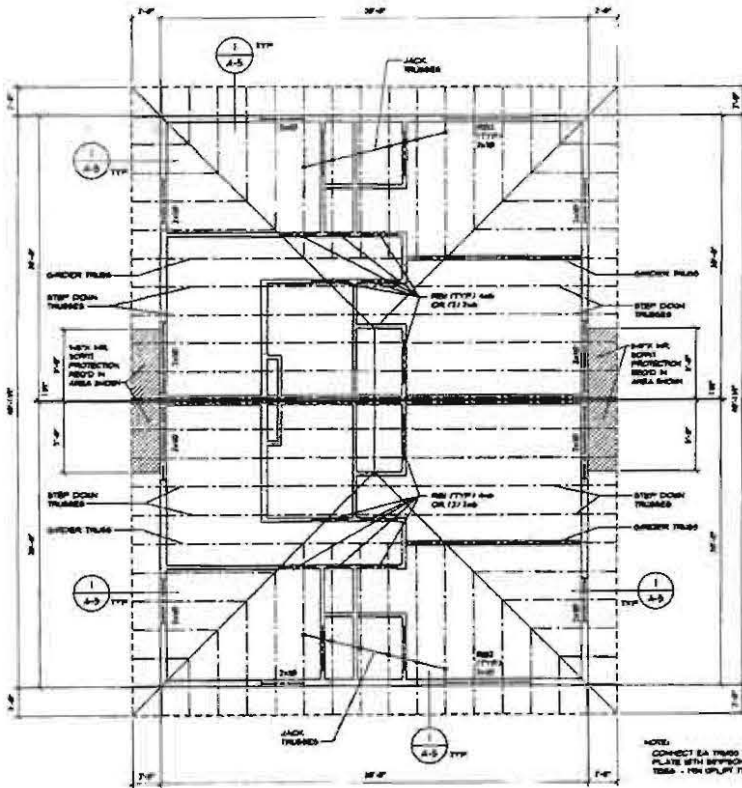
PERMIT SET 124-13
Revisions

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OF 9
File: 124-3773

KCLT HOMES
 2939 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOTS 1 AND 2 DUPLEX UNIT
 UPPER FLOOR AND ROOF FRAMING PLANS

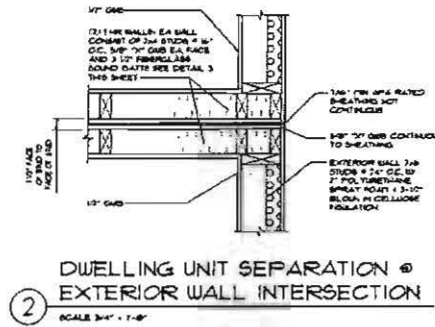
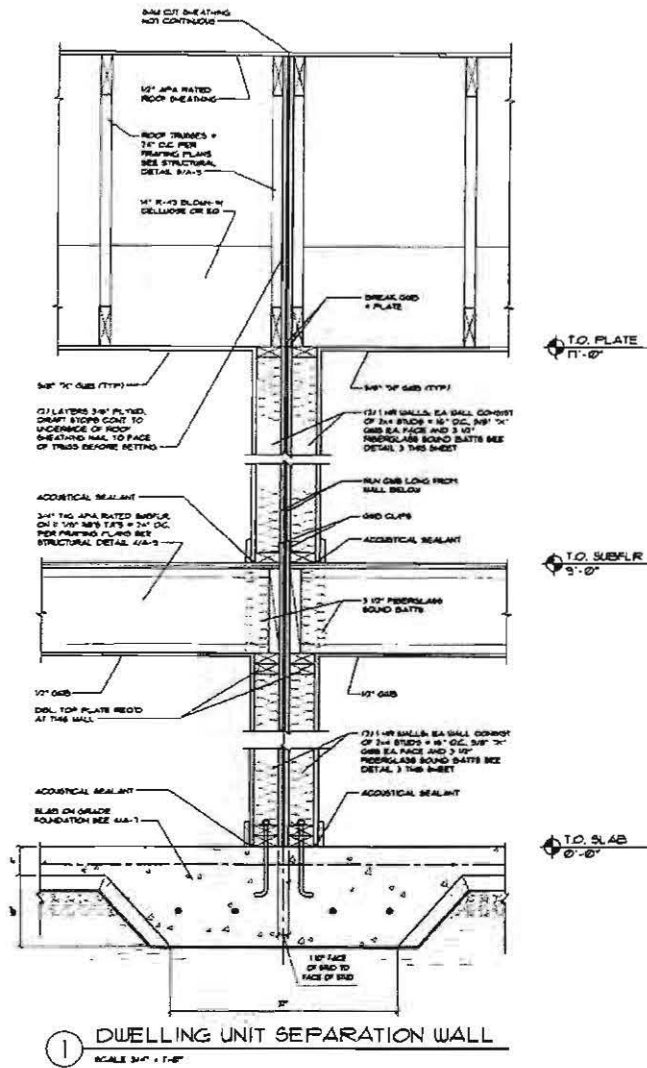


① JOIST / BEAM DETAIL
 SCALE 1/2" = 1'-0"



PERMIT SET 12-4-13

Revisions	



GA FILE NO. WP 8136 - 1 HOUR FIRE
GYPSUM WALLBOARD, GLASS MAT GYPSUM SUBSTRATE
WOOD STUDS

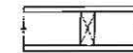
EXTERIOR SIDE, ONE LAYER 5/8" PROPRIETARY TYPE "X" GYPSUM SHEATHING OR GLASS MAT GYPSUM SUBSTRATE (SHEATHING) APPLIED PARALLEL OR AT RIGHT ANGLES TO 2x4 WOOD STUDS 16" O.C. WITH 1 3/4" TYPE B DRYWALL SCREWS 1" O.C. TO STUDS WHEN APPLIED PARALLEL TO FRAMING OR 8" O.C. WHEN APPLIED AT RIGHT ANGLES TO FRAMING

INTERIOR SIDE, ONE LAYER 5/8" PROPRIETARY TYPE "X" GYPSUM WALL BOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO 2x4 WOOD STUDS 16" O.C. WITH 1 3/4" TYPE B DRYWALL SCREWS 1" O.C. TO STUDS WHEN APPLIED PARALLEL TO FRAMING OR 8" O.C. WHEN APPLIED AT RIGHT ANGLES TO FRAMING

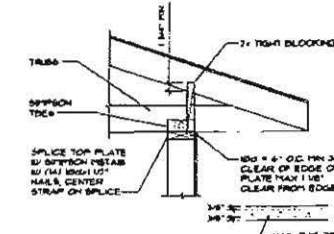
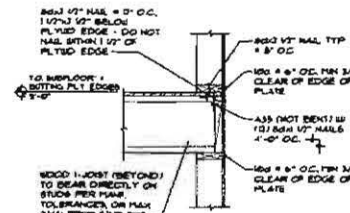
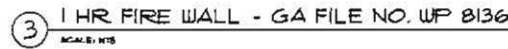
VERTICAL JOINTS CENTERED OVER STUDS AND STAGGERED ONE STUD CAVITY ON OPPOSITE SIDES. HORIZONTAL JOINTS ON OPPOSITE SIDES NEED NOT BE STAGGERED. (LOAD BEARINGS)

PROPRIETARY GYPSUM PANEL PRODUCTS-

- UNITED STATES GYPSUM COMPANY
- 5/8" SHEETROCK GLASS-MAT SHEATHING PANELS
- 5/8" SHEETROCK BRAND ULTRALIGHT PANELS FIRECODE X

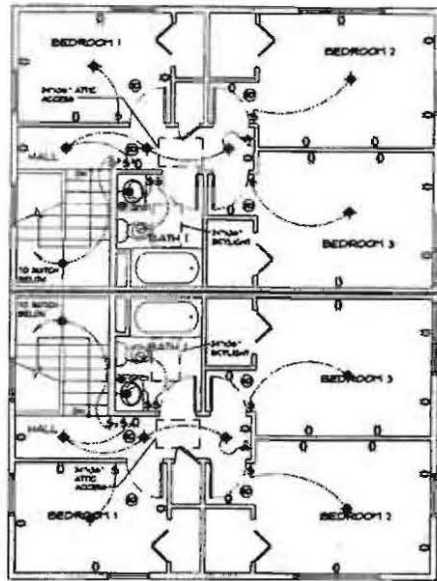


THICKNESS APPROX. HEIGHT: 4 3/4" 1 3/4" U.S. REPT. 0804297M 3-1/2" U.S. DESIGN 1025 + 1371



KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOTS 1 AND 2 DUPLEX UNIT
FRAMING DETAILS

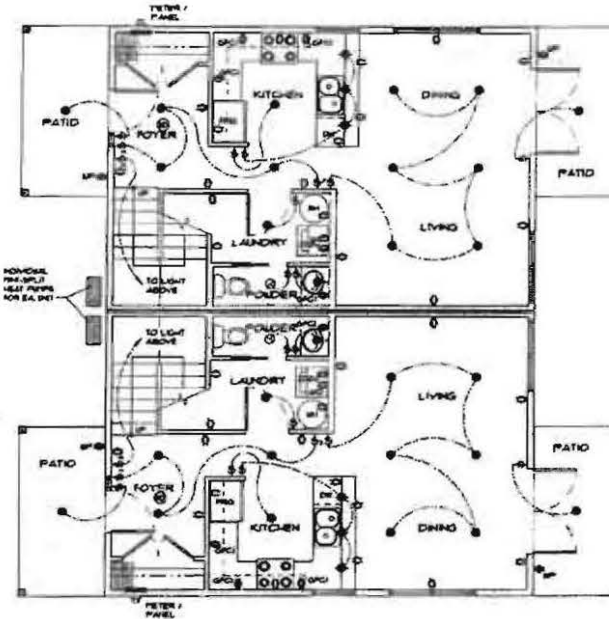
PERMIT SET	12-6-13
Revision	



ELECTRICAL LEGEND	
⊖	SINGLE POLE SWITCH
⊖	3-WAY SWITCH
⊖	WAND ON SURFACE MOUNTED FUSIBLE
⊖	RECESSED FIXTURE
⊖	WALL MOUNTED FIXTURE
⊖	FAN / LIGHT COMBINATION
⊖	CEILING EXHAUST FAN
⊖	SMOKE DETECTORS
⊖	HEAT LAMP
⊖	DUPLEX RECEPTACLE
⊖	120VOLT RECEPTACLE
⊖	WEATHERPROOF DUPLEX RECEPTACLE
⊖	GROUND FAULT RECEPTACLE
⊖	PANEL
⊖	PETER
⊖	LIGHT BY INTEGRAL SWITCH
⊖	ADJUSTABLE TRACK LIGHTING

NOTES:

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. ALL WIRING TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. MAIN PANEL, BOARD TO BE 300 AMP PERMITTED AND MAIN IN LOCATION AS SHOWN ON DRAWINGS. LEAVE ADDITIONAL SPACE FOR FUTURE CREDIT. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIRED SIZE OF SERVICE.
3. PROVIDE SEPARATE CIRCUIT TO EACH ROOM AND MULTIPLE CIRCUITS TO KITCHEN.
4. ALL APPLIANCES INCLUDING WASHERS / DRYERS, REFRIGERATOR, RANGE, DISHWASHER, AND HEAT PUMPS SHALL BE ENERGY STAR RATED.
5. ALL LIGHTING SHALL USE ENERGY STAR RATED FIXTURES.
6. FINISH FIXTURES, OUTLETS AND SWITCH PENETRATIONS IN EXTERIOR WALLS. ALL OUTLET FIXTURES AND SWITCHES IN EXTERIOR WALLS AND NO FLOOR CEILING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE OR APPROVED EQUAL.



UPPER FLOOR ELECTRICAL / LIGHTING PLAN

SCALE 3/4" = 1'-0"



NORTH

LOWER FLOOR ELECTRICAL / LIGHTING PLAN

SCALE 3/4" = 1'-0"



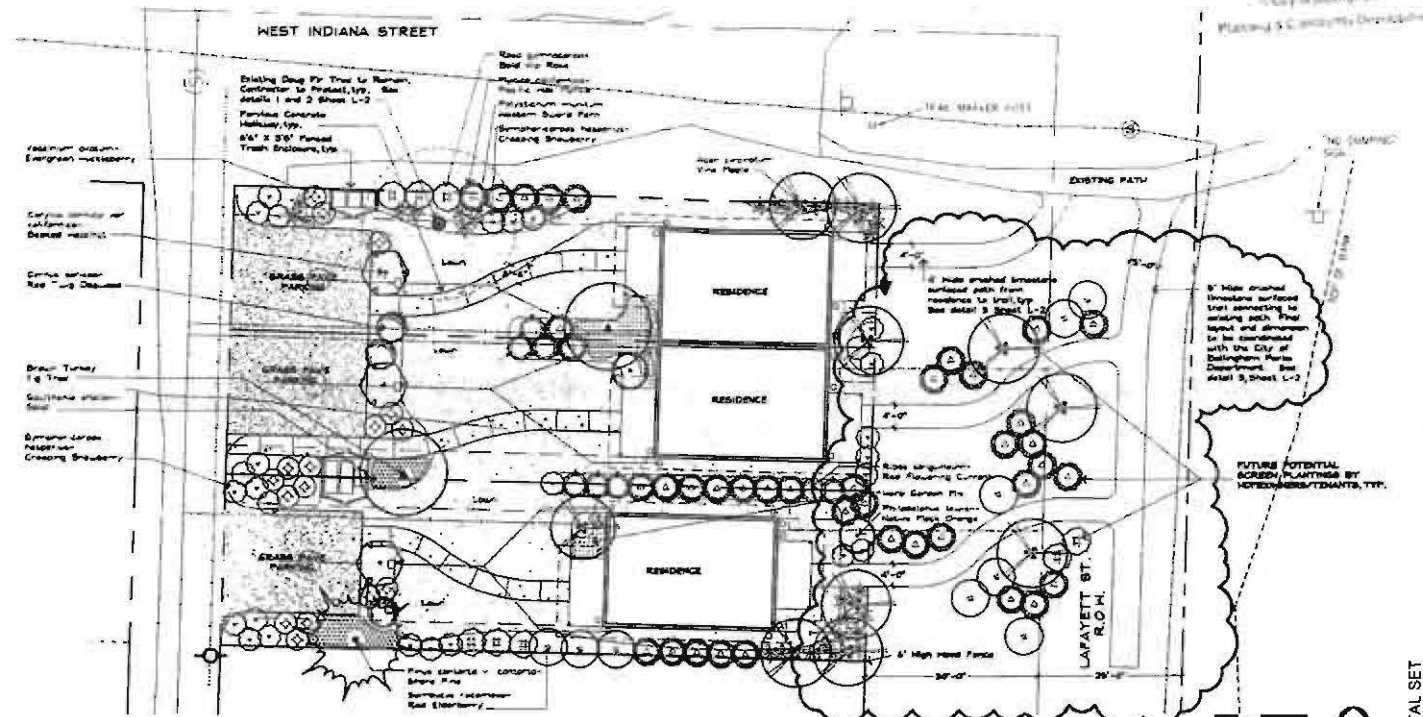
NORTH

PERMIT SET 12-6-13

Revision

E-1
 OF 1

File: 10-2539



PLANT SCHEDULE

Quantity	Botanical Name	Common Name	Spacing	Size	Notes
1	ACTEONIA	ACTEONIA	4' x 4'	1 gal	...
2	ACTEONIA	ACTEONIA	4' x 4'	1 gal	...
1	ACTEONIA	ACTEONIA	4' x 4'	1 gal	...

Quantity	Botanical Name	Common Name	Spacing	Size
1	ACTEONIA	ACTEONIA	4' x 4'	1 gal
2	ACTEONIA	ACTEONIA	4' x 4'	1 gal
1	ACTEONIA	ACTEONIA	4' x 4'	1 gal

Quantity	Botanical Name	Common Name	Spacing	Size
1	ACTEONIA	ACTEONIA	4' x 4'	1 gal
2	ACTEONIA	ACTEONIA	4' x 4'	1 gal
1	ACTEONIA	ACTEONIA	4' x 4'	1 gal

City of Baltimore
Planning & Community Development

100 North Eager Street, Suite 1
Baltimore, MD 21202
410.396.1400
410.396.1401
www.baltimore.gov

City of Baltimore
Planning & Community Development

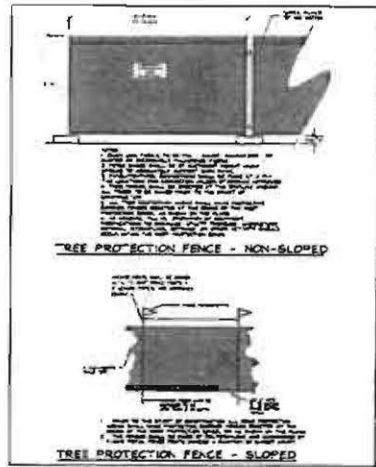
Project:
KILSHAN COMMUNITY
LANDTRUST
LAFAYETTE STREET
HOMES

Client:
KILSHAN COMMUNITY
LAND TRUST
100 EAGER STREET, SUITE 1
BALTIMORE, MD 21202

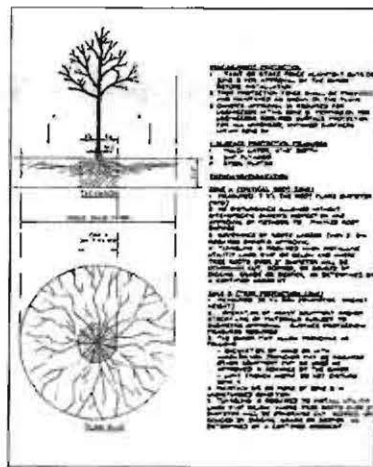
Scale:
LANDSCAPE SITE PLAN
PLANTING PLAN

Sheet:
L-1

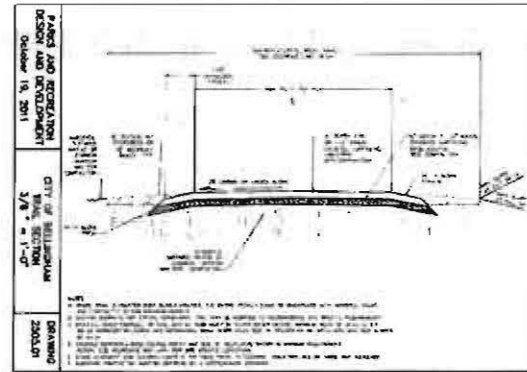
LANDSCAPE SITE PLAN - PERMIT SUBMITTAL SET



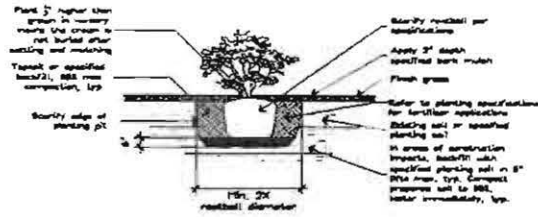
1 TREE PROTECTION FENCING
SHEET 02



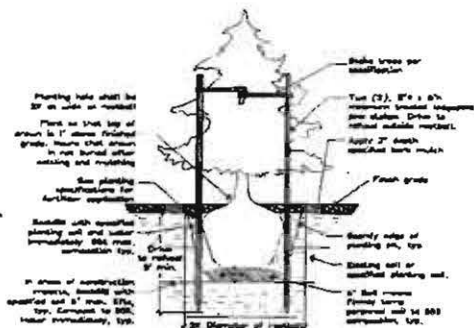
2 TREE PROTECTION FENCING-CRITICAL ROOT ZONE
SHEET 03



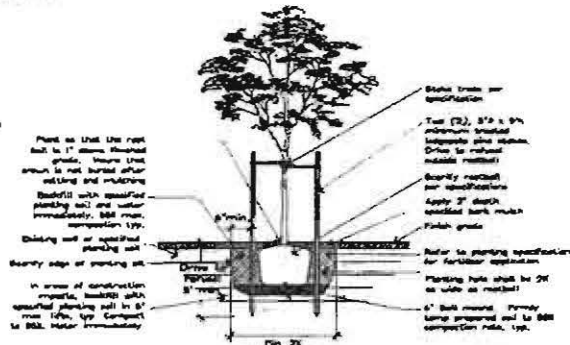
3 GOR TYPICAL TRINA SECTION
SHEET 04



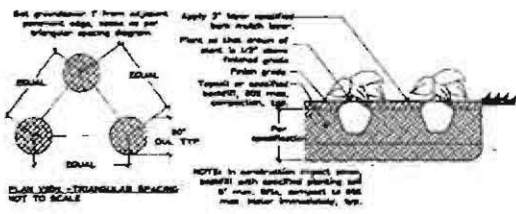
4 TYPICAL SHRUB PLANTING
SHEET 05



5 TYPICAL CONIFER PLANTING
SHEET 06



6 TYPICAL TREE PLANTING AND STAKING
SHEET 07



7 TYPICAL GROUNDCOVER PLANTING
SHEET 08

nmla
NORTH MISSISSIPPI LANDSCAPE ARCHITECTS

100 NORTH COMMERCIAL STREET
SUITE 204
MEMPHIS, TN 38102
P 901.527.4052
F 901.527.4050
WWW.NMLA.COM

LANDSCAPE ARCHITECTS
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS
MEMBER: ASLA, IFLA, NMLA

PROJECT:
KULSHR AM COMPANY
LAND TRUST
LAFAYETTE STREET
HONES

CLIENT:
KULSHR AM COMPANY
LAND TRUST
100 COMMERCIAL ST. SUITE 204
MEMPHIS, TN 38102

DATE: 02/11/2011
SHEET NO: L-2

LANDSCAPE SITE PLAN - PERMIT SUBMITTAL SET

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07/11/2014

City of Bellingham
Planning & Community Development



VICINITY MAP

SCALE: 1/8" = 1'



NORTH

PROJECT DESCRIPTION

Construction of a new 1200 Square Foot 3 Bedroom Single Family Residence labeled Unit G on site plan for Kulsman Community Land Trust (KCLT) on owners property at 2939 Lafayette St, Bellingham, WA 98225. Parcel # 0613 / 3807740813-450000. Legal Description: Eldridge second addition to Bellingham Lots 9-10 Block 10 - Exc Coal Deposits

SQUARE FOOTAGE:	FIRST FLOOR:	600 SF
	SECOND FLOOR:	600 SF
	TOTAL:	1200 SF

LIST OF DRAWINGS

- A-1 COVER SHEET
- A-2 SITE PLAN
- A-3 FLOOR PLANS AND SCHEDULES
- A-4 SECTIONS AND DETAILS
- A-5 ELEVATIONS
- A-6 FOUNDATION PLAN AND DETAILS
- A-7 UPPER FLOOR AND ROOF FRAMING PLANS

E-1 ELECTRICAL / LIGHTING PLANS

DESIGN CRITERIA

CODE:	200 IRC AND LOCAL AMENDMENTS
SEISMIC ZONE:	D1
WIND SPEED:	50 mph (THREE SECOND GUST)
EXPOSURE:	B
SNOW LOAD:	25 lbs/sq ft - GROUND AND ROOF
RAIN:	2" HOUR FOR ROOF DRAINAGE DESIGN
SOIL:	PER IRC TABLE R401.1 (BC SECTION 1904.10)
FROST DEPTH:	
MAXIMUM ALLOWABLE SOIL BEARING CAPACITY:	2000 lbs/sq ft
SOIL CLASSIFICATION TYPE:	GROUP IV

ENERGY CODE COMPLIANCE

CODE:	CURRENT USEC
CLIMATE ZONE:	1
HEAT SOURCE:	ELECTRIC MINI-SPLIT HEAT PUMP
R-VALUE FLAT CEILINGS:	R-49
R-VALUE EXTERIOR WALLS:	R-35
R-VALUE FLOORS:	R-30
R-VALUE SLAB ON GRADE:	R-10
DOORS:	MIN. U-VALUE @0.20
WINDOWS:	MIN. U-VALUE @0.30

ARCHITECT:

GREG ROBINSON ARCHITECT
103 E HOLLY STREET SUITE 417
BELLINGHAM, WA 98225
PHONE: 360-778-1305

OWNER:

KULSMAN COMMUNITY LAND TRUST (KCLT)
1303 COMMERCIAL ST, SUITE 6
BELLINGHAM, WA 98225
PHONE: (360) 671-5600
FAX: (360) 676-6777
CONTACT: DEAN FEARING

GENERAL CONTRACTOR:

THE CASCADE JOINERY
1545 PACIFIC PL, SUITE
FERDIALE, WA 98246
PHONE: (360) 527-6115
FAX: (360) 527-6147
CONTACT: JOHN MILLER

GRA
GREG ROBINSON
ARCHITECT

103 East Holly Street, Suite 417
Bellingham, Washington 98225
Tel 360.778.1305

GregRobinsonArchitect.com

KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOT 3 SINGLE FAMILY RESIDENCE
COVER SHEET

PERMIT SET 12613

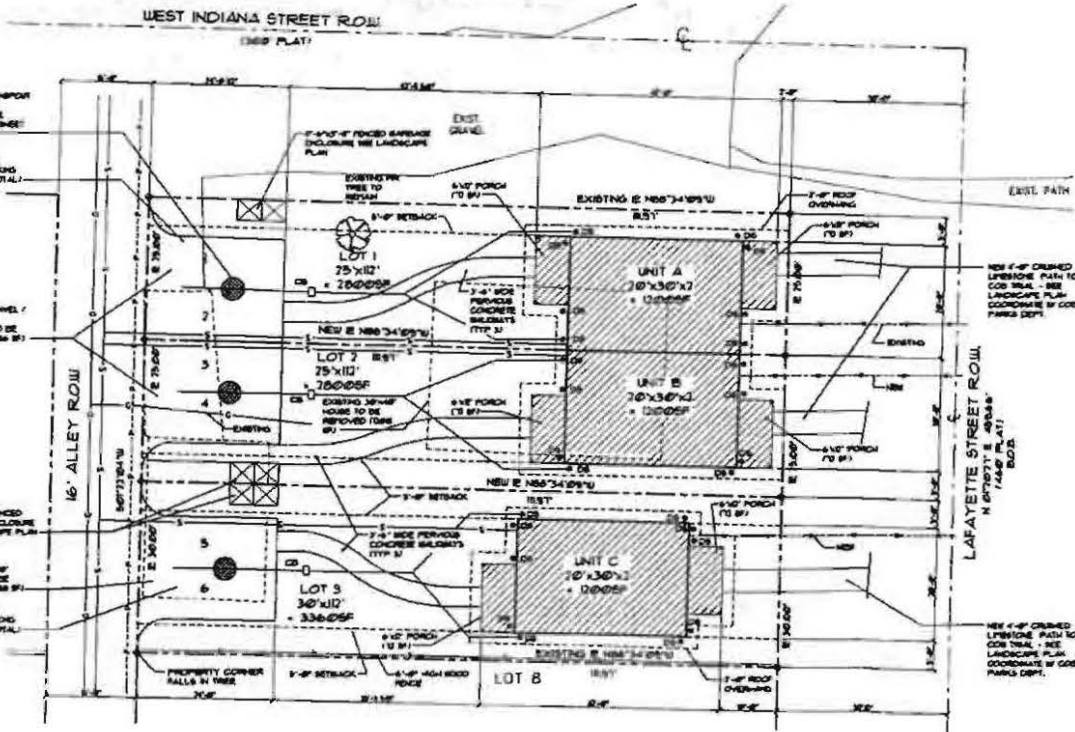
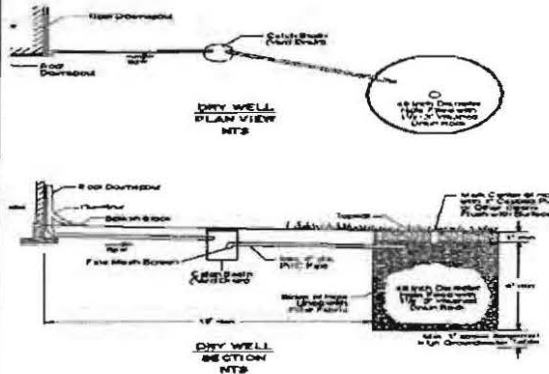
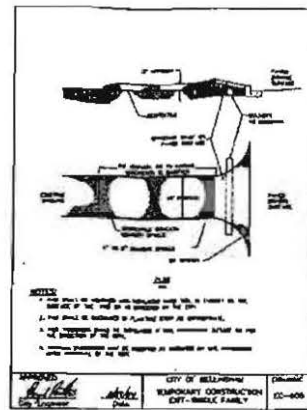
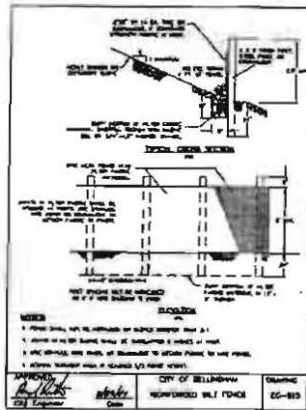
Revised

A-1
OF 7

1/8" = 1'

GENERAL CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

- Purpose:**
To prevent the discharge of sediment and other pollutants to the surrounding public jurisdiction from small construction projects.
- Design and Installation:**
Plan and implement erosion control and grading of the site. It is the responsibility of the contractor to ensure that all erosion control measures are properly installed and maintained. Erosion control measures should be installed before any earthmoving activities begin. Erosion control measures should be installed before any earthmoving activities begin. Erosion control measures should be installed before any earthmoving activities begin.
- Best Management Practices (BMPs):**
1. From October 1 through April 30, on each storm event, sediment and silt should be removed from silt traps daily. From May 1 to September 30, on each storm event, sediment should be removed from silt traps every other day.
2. Sediment traps should be installed in a manner that allows all sediment to be captured and removed from the site before it enters the stormwater system. Sediment traps should be installed in a manner that allows all sediment to be captured and removed from the site before it enters the stormwater system.
3. Sediment traps should be installed in a manner that allows all sediment to be captured and removed from the site before it enters the stormwater system.
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LAND USE INFORMATION

ADDRESS: 2618 LAFAYETTE ST., BELLINGHAM WA 98225
PARCEL NUMBER: 8803 / 3802480-0000
LEGAL DESCRIPTION: ELDERIDGE SECOND ADDITION (TO BELLINGHAM LOTS 5-8 BLOCK 18 - COE COAL DEPOSITS) SUBDIVISION OF LOTS 1 - 18 (RECORDING) SUBDIVISION OF LOTS 1 AND THREE LOTS TO CONSTITUTE ONE DETACHED BY RESIDENCE AND ONE ATTACHED BY RESIDENCE (DUPLEX) LAND DEVELOPMENT HOLDING ORDINANCE SPEC 28.71
TOPOGRAPHY: FLAT - NO CUT AND FILL - USE EXCAVATED SOILS ON SITE
APPLICANT: KULLMAN COMMUNITY LAND TRUST (NOL 1) 625 COMMERCIAL STREET WHITE & BELLINGHAM WA 98225

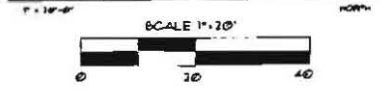
IMPERVIOUS SURFACES

EXISTING: EXISTING HOUSE / GARAGE AND DRIVEWAY / CONCRETE DRIVEWAY TO BE REMOVED - NO REMAINING IMPERVIOUS SURFACES
USE:
 HOUSE: 2618 SF - 600 SF + 3 UNITS - 8000 SF
 PORCHES: 610 SF + 70 SF + 40 SF
PERVIOUS PARKING: GRASSY/PAVE 7 PARKING STALLS + 24 SF + 0 + 0 SF
PERVIOUS IMPERVIOUS: 114 SF + 80 SF + 50 SF
TOTAL IMPERVIOUS: 130 SF
TOTAL PERVIOUS: 147 SF
 NOT INCLUDING ALLEY ROAD OR PAVES TO BRAL IN LAFAYETTE ST.

LEGEND

- GAB LINE
- SEWER LINE
- WATER LINE
- TELEPHONE LINE
- POWER LINE
- FENCE LINE

SITE PLAN



GRA
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 GregRobinsonArchitect.com

KCLT HOMES
 1939 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOT 3 SINGLE FAMILY RESIDENCE
 SITE PLAN

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City of Bellingham
 Planning & Community Development

PERMIT SET (2-13)

A-2
 OF 7
 TEL WA 360

FINISH SCHEDULE			
ROOM	FLOOR	WALLS	CEILING
KITCHEN	STAINED CONCRETE	1/2" GAB	1/2" GAB
KITCHEN	STAINED CONCRETE	1/2" GAB	1/2" GAB
LAUNDRY	STAINED CONCRETE	1/2" GAB	1/2" GAB
POWDER	STAINED CONCRETE	1/2" GAB	1/2" GAB
LIVING	STAINED CONCRETE	1/2" GAB	1/2" GAB
DINING	STAINED CONCRETE	1/2" GAB	1/2" GAB
BEDROOM 1	CARPET	1/2" GAB	1/2" GAB
BEDROOM 2	CARPET	1/2" GAB	1/2" GAB
BEDROOM 3	CARPET	1/2" GAB	1/2" GAB
BATH 1	MARBLE	1/2" GAB	1/2" GAB
HALL	FURFOLBERT	1/2" GAB	1/2" GAB

NOTES:
1. CLOSETS FINISH TO THE SAME AS ADJACENT ROOM

DOOR SCHEDULE			
DOOR NUMBER	LOCATION	SIZE	TYPE
1	PORCH	7'-0" x 6'-0"	1/2" GAB WOOD PANEL W/ 6" SILL
1	PORCH CLOSET	7'-0" x 4'-0"	WOOD PANEL, HOLD
1	LAUNDRY	7'-0" x 6'-0"	WOOD PANEL
1	POWDER	7'-0" x 6'-0"	WOOD PANEL, HOLD
1	BATH 1 (DOOR)	5'-0" x 6'-0"	SLIP-RESIST PANEL
1	BATH 1	7'-0" x 6'-0"	WOOD PANEL
1	HALL CLOSET	7'-0" x 4'-0"	WOOD PANEL
1	BEDROOM 1	7'-0" x 6'-0"	WOOD PANEL
1	BEDROOM 1 CLOSET	7'-0" x 4'-0"	B-HOLD
1	BEDROOM 2	7'-0" x 6'-0"	WOOD PANEL
1	BEDROOM 2 CLOSET	7'-0" x 4'-0"	B-HOLD
1	BEDROOM 3	7'-0" x 6'-0"	WOOD PANEL
1	BEDROOM 3 CLOSET	7'-0" x 4'-0"	B-HOLD

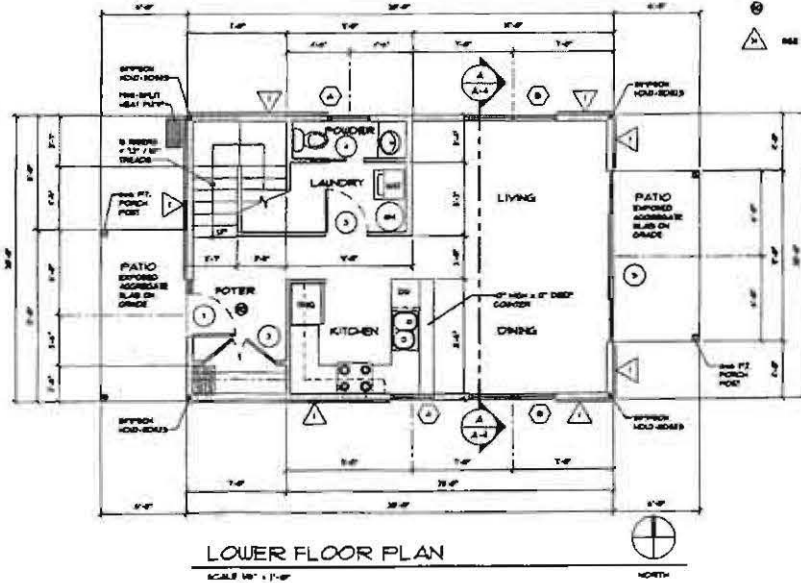
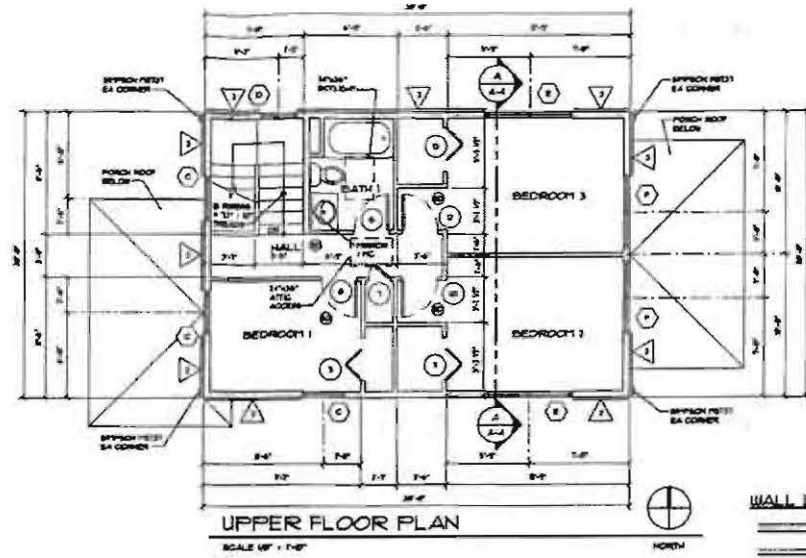
NOTES:
1. GLAZED EXTERIOR DOORS SHALL HAVE 1/4" U-VALUE OF R20

WINDOW SCHEDULE			
WINDOW ID	IDENTITY	SIZE	TYPE
A	1	3'-0" x 3'-0"	CASSETTE
B	2	3'-0" x 3'-0"	DOUBLE HUNG PANE
C	3	3'-0" x 4'-0"	CASSETTE
D	1	3'-0" x 3'-0"	FIXED
E	2	3'-0" x 4'-0"	CASSETTE PANE
F	1	3'-0" x 3'-0"	DOUBLE HUNG PANE

NOTES:
1. ALL WINDOWS OVER GLAZED FIBERGLASS WINDOWS
2. DIMENSIONS ARE NOMINAL FRAME SIZES, VERIFY SILLING OPENINGS
3. SEE EXTERIOR ELEVATIONS FOR GRILLE PATTERNS
4. ALL WINDOWS MUST HAVE MIN U-VALUE OF 0.30 OR BETTER

SHEAR WALL SCHEDULE					
WALL ID	BEARING	REINFORCEMENT	WALL THICKNESS	FINISH	NOTES
1	1/2" REIN. ASP.	6#4@16"	8"-0"	1/2" GAB	SEE PLANS FOR HOLD DOWN
2	1/2" REIN. ASP.	6#4@16"	8"-0"	1/2" GAB	SEE PLANS FOR FLOOR TO FLOOR BRACE

NOTES:
1. 1/2" REIN. ASP. MAY BE 3/8" OR 5/8" REINFORCED OR GAB BY EXTERIOR CLAMMING BARS, PROVIDED IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN FIBERGLASS ASSN.
2. THE WALLS SHALL HAVE A MIN. BARRIC DIAMETER OF 800" AND A LENGTH OF 1'



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 Tel 360.778.1325
 GregRobinsonArchitect.com

KCLT HOMES
 9839 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOT 3 SINGLE FAMILY RESIDENCE
 FLOOR PLANS AND SCHEDULES

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 10/14/14
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 Planning and Community Development

PERMIT SET 11-4-11
 Revision

A-3
 OF 7
 File: 104-2538

KCLT HOMES
2938 LAFAYETTE ST., BELLINGHAM, WA 98225
LOT 3 SINGLE FAMILY RESIDENCE
SECTIONS AND DETAILS

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11/1/2011

City of Bellingham

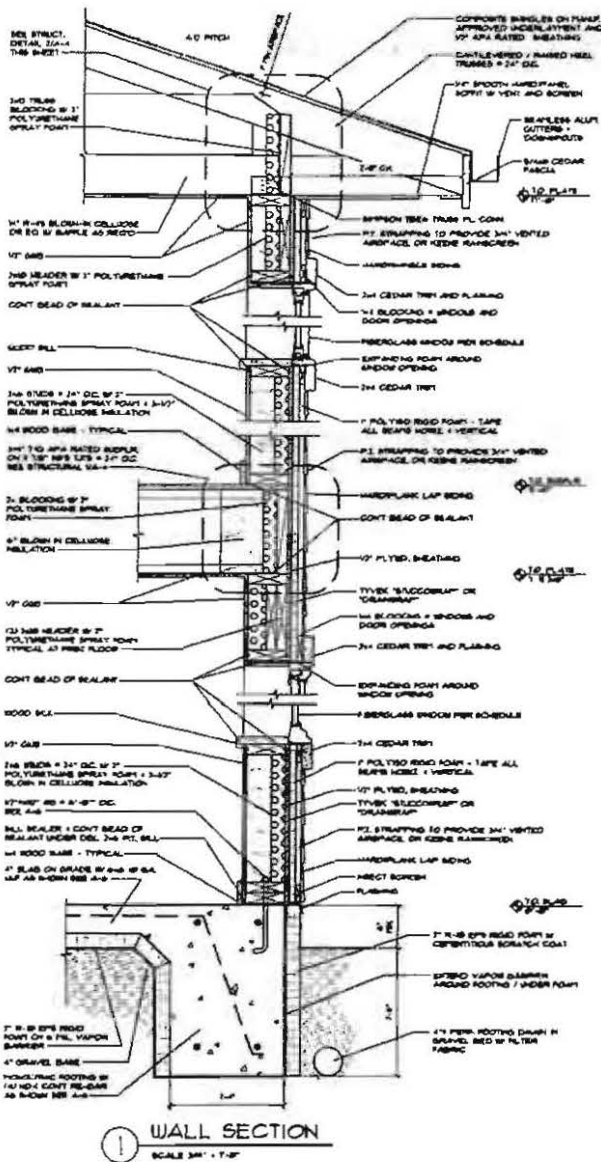
Planning & Community Development

PERMIT SET 11-4-13

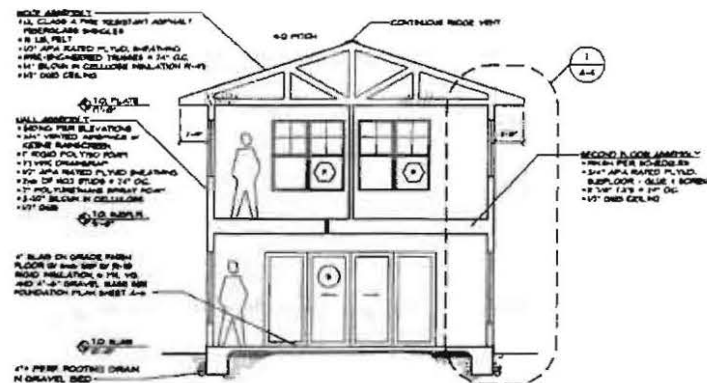
Revisions	

A-4
OF 7

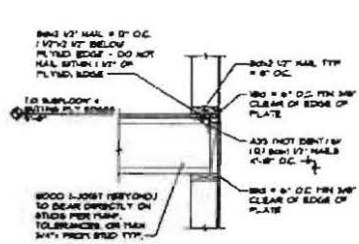
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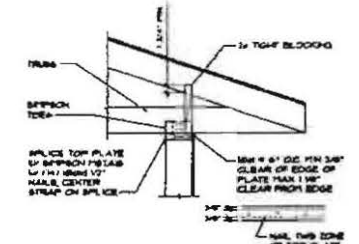
1 WALL SECTION
SCALE 3/4" = 1'-0"



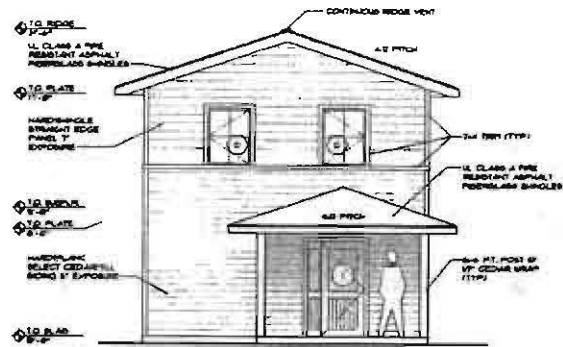
SECTION A
SCALE 1/2" = 1'-0"



1 FRAMING DETAIL @ FLOOR
SCALE 1/2" = 1'-0"

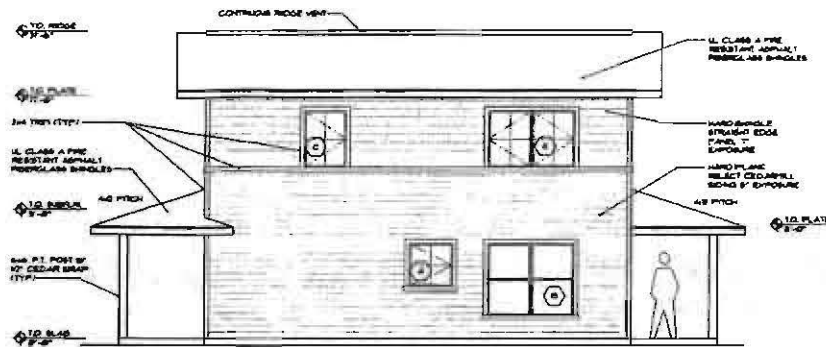


2 FRAMING DETAIL @ TRUSS
SCALE 1/2" = 1'-0"



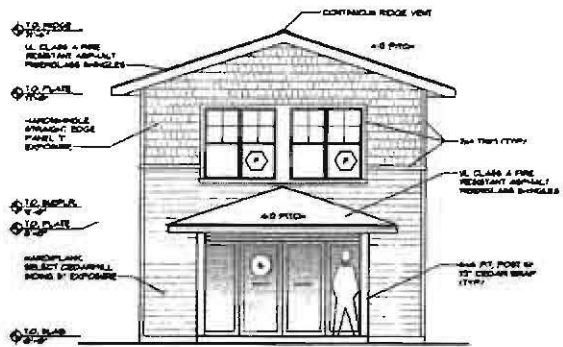
WEST ELEVATION

SCALE 1/8" = 1'-0"



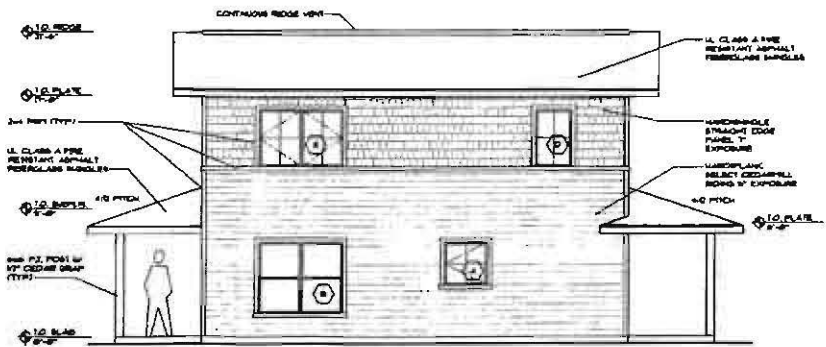
SOUTH ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

SCALE 1/8" = 1'-0"



NORTH ELEVATION

SCALE 1/8" = 1'-0"

KCLT HOMES
 2939 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOT 3 SINGLE FAMILY RESIDENCE
 ELEVATIONS

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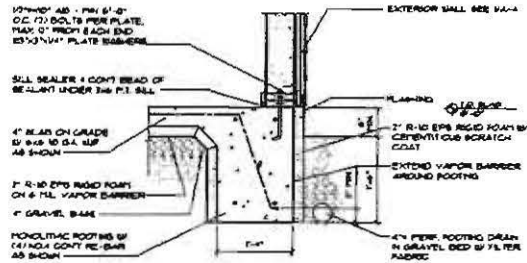
City of Bellingham
 Planning & Community Development

PERMIT SET 12-8-13

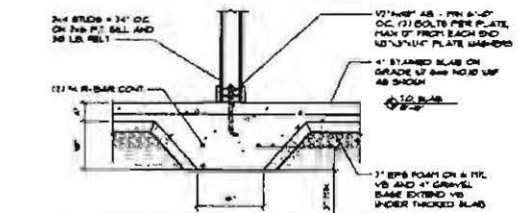
Revisions

A-5
 OF 7

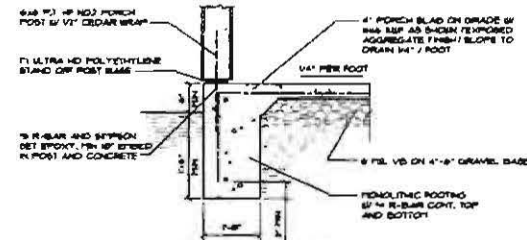
File 12-2013



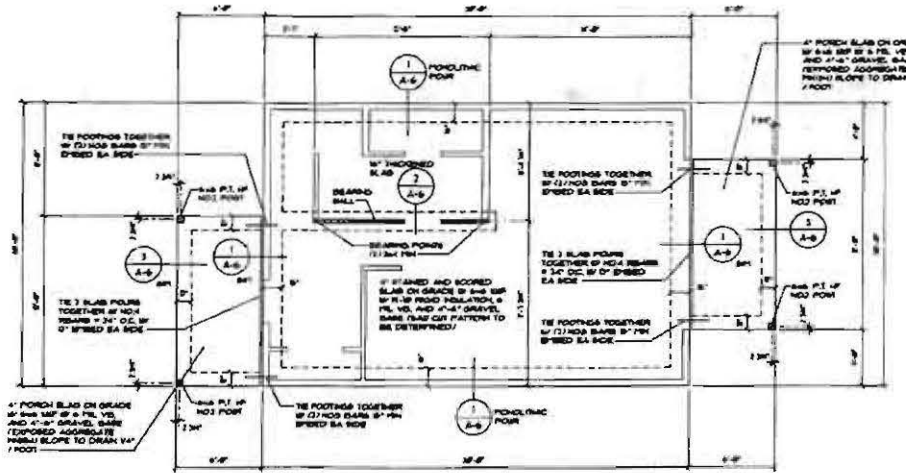
1 PERIMETER FOOTING
SCALE 1/2" = 1'-0"



2 THICKENED SLAB DETAIL
SCALE 1/2" = 1'-0"



3 PORCH POST DETAIL
SCALE 1/2" = 1'-0"



- NOTES:
- FIN CONFIRMATIVE STRENGTH OF CONCRETE IS - 3000 PSI - 28 DAYS AND EXPOSED FIN. IS SUBJECT TO PREPARE - FINISH DURING CONSTRUCTION.
 - ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENGINEERING FILL.
 - ANCHOR BOLTS PROVIDE 17'-0" W/4" ANCHOR BOLTS - FIN. 17" SPREAD - FIN. 6'-0" O.C. (7) BOLTS PER PLATE, MAX. 6" FROM EACH END BY 13'-0" W/4" PLATE BANDS
 - CONCRETE SLAB IS FINISH FLOOR AND STAINED WITH ULTRA LOW VOC SOLVENTS CONCRETE STAIN COLOR AND SHEET CUT PATTERN TO BE DETERMINED.

FOUNDATION PLAN
SCALE 1/2" = 1'-0"



KCLT HOMES
 19339 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOT 3 SINGLE FAMILY RESIDENCE
 FOUNDATION PLAN AND DETAILS

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A-6
OF 7

KCLT HOMES
 2939 LAFAYETTE ST., BELLINGHAM, WA 98225
 LOT 3 SINGLE FAMILY RESIDENCE
 UPPER FLOOR AND ROOF FRAMING PLANS

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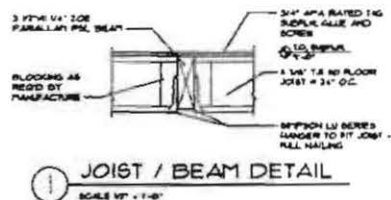
City of Bellingham
 Planning & Community Development

PERMIT SET 12-8-13

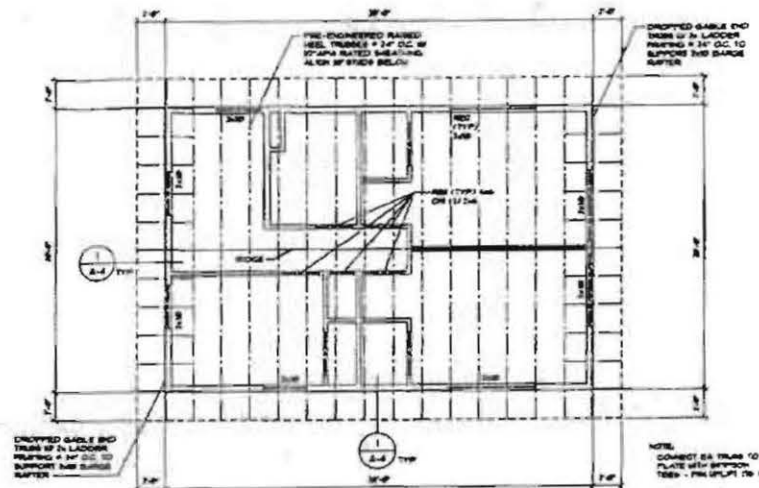
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A-7
 OF 7

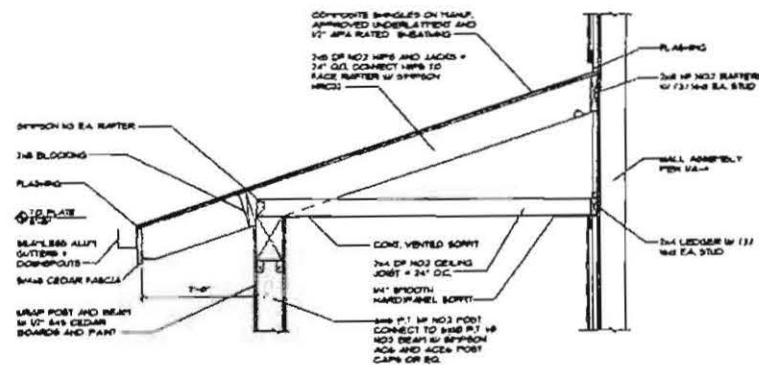
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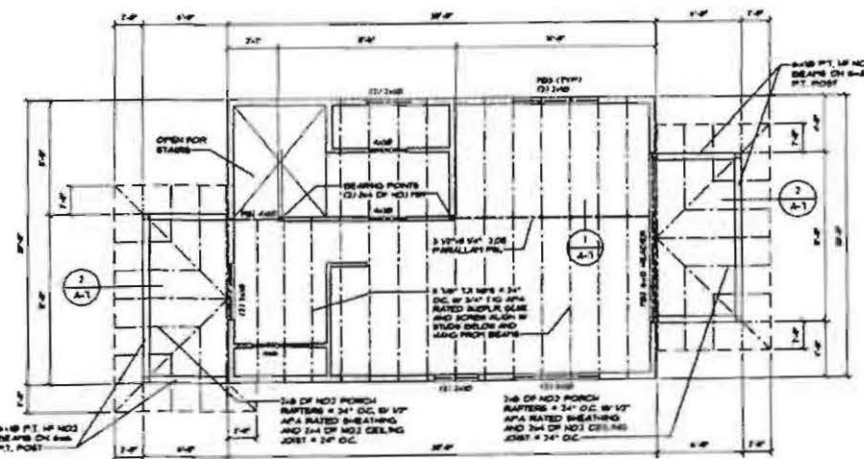
1 JOIST / BEAM DETAIL
 SCALE 1/2" = 1'-0"



HEADERS AS NOTED
ROOF FRAMING PLAN
 SCALE 1/2" = 1'-0"



2 PORCH ROOF DETAIL
 SCALE 1/2" = 1'-0"



HEADERS AS NOTED
UPPER FLOOR AND PORCH ROOF FRAMING PLAN
 SCALE 1/2" = 1'-0"

GRA

**GREG ROBINSON
ARCHITECT**

103 East Holly Street, Suite 417
Bellingham, Washington 98225
Tel 360.778.1385

GregRobinsonArchitect.com

KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
LOT 3 SINGLE FAMILY RESIDENCE
ELECTRICAL / LIGHTING PLANS

RECEIVED

14 2010

City of Bellingham

PL 1000 5/17/00 1000 1000 1000 1000

PERMIT SET 12-4-13

Revisions

E-1

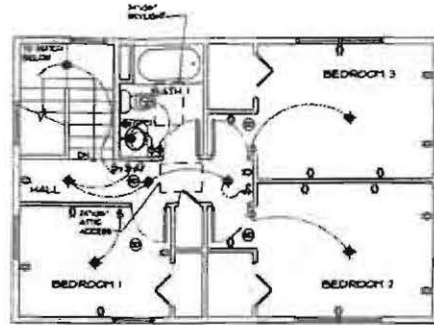
OF 1

Tbr KH-2939

ELECTRICAL LEGEND	
⊖	SINGLE POLE SWITCH
⊕	3-WAY SWITCH
○	INDICATOR OF SURFACE MOUNTED FUTURE
●	APPOINTED FUTURE
○	WALL MOUNTED FUTURE
○	FAN / LIGHT COMBINATION
○	CEILING EXHAUST FAN
○	SMOKE DETECTOR
○	HEAT LAMP
○	DUPLEX RECEPTACLE
○	750 VOLT RECEPTACLE
○	WEATHERPROOF DUPLEX RECEPTACLE
○	GROUND FAULT RECEPTACLE
○	PANEL
○	PETER
○	LIGHT BY INTEGRAL SWITCH
○	ADJUSTABLE TRACK LIGHTING

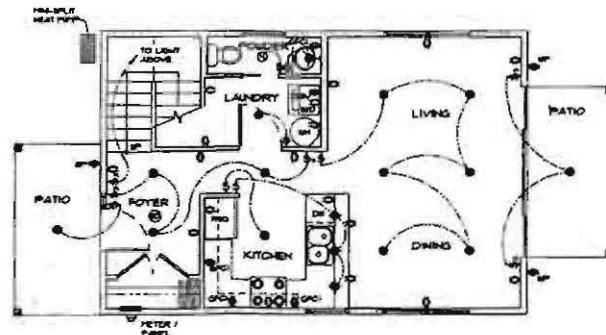
NOTES:

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. ALL WORK TO BE MOVED DOWN PRIOR TO PENETRATION THROUGH TOP PLANE.
2. MAIN PANEL BOARD TO BE 300 AMP PETER AND MAIN IN LOCATION AS SHOWN ON CHANGES. LEAVE ADDITIONAL SPACE FOR FUTURE CIRCUITS. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIRED SIZE OF SERVICE.
3. PROVIDE SEPARATE CIRCUIT TO EACH ROOM AND MULTIPLE CIRCUITS TO KITCHEN.
4. ALL APPLIANCES INCLUDING WASHING / DRYING, REFRIGERATOR, RANGE, DISHWASHER, AND WATER HEATER SHALL BE ENERGY STAR RATED.
5. ALL LIGHTING SHALL USE ENERGY STAR RATED FIXTURES.
6. WIRELESS PHONES, OUTLETS AND SWITCH PENETRATIONS IN EXTERIOR WALLS. ALL OUTLETS, FIXTURES AND SWITCHES IN EXTERIOR WALLS AND 2ND FLOOR CEILING SHALL BE INSTALLED IN AIR VAPOR BARRIER BONES BY LEADERS OR APPROVED EQUAL.



UPPER FLOOR ELECTRICAL / LIGHTING PLAN

SCALE 1/8" = 1'-0"

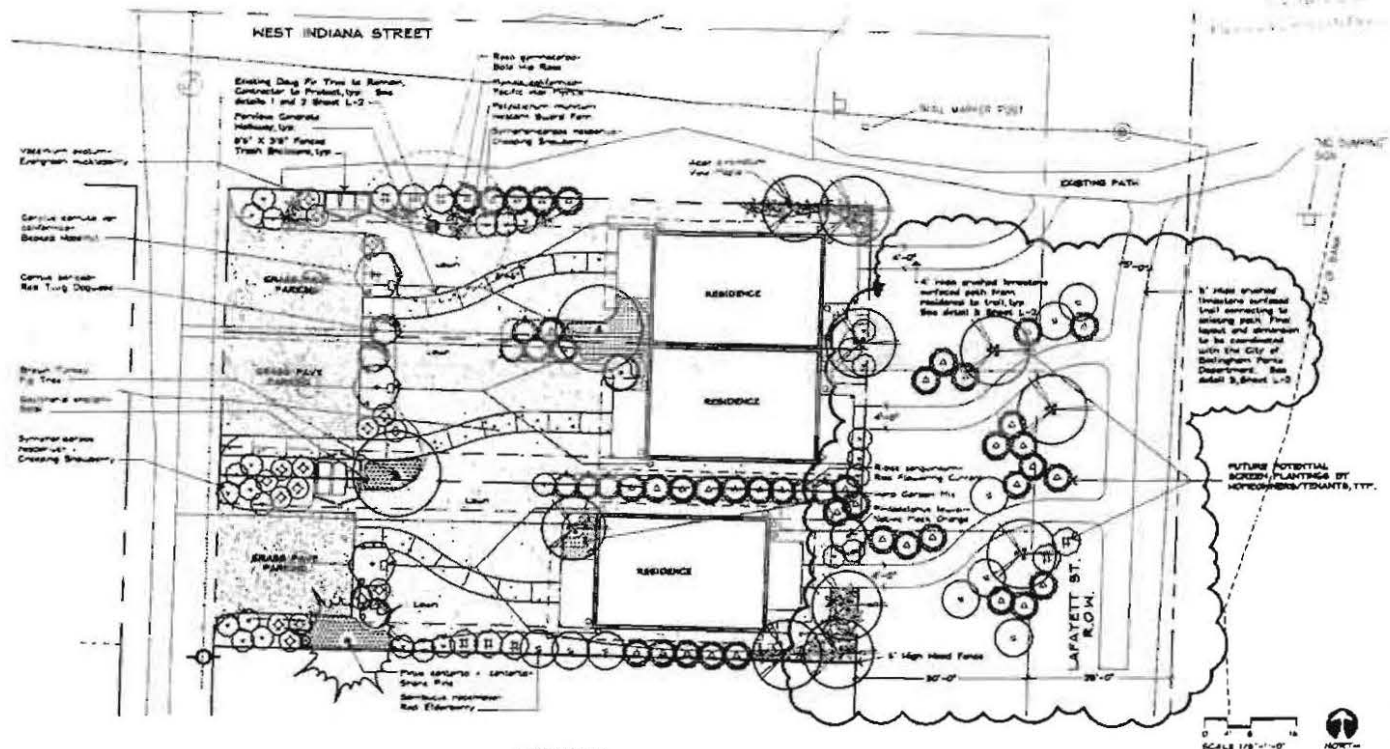


LOWER FLOOR ELECTRICAL / LIGHTING PLAN

SCALE 1/8" = 1'-0"



RECEIVED



PLANT SCHEDULE

Quantity	Botanical Name	Tree Height	Caliper	Spacing	Notes
1	Acorn Oak	10' - 12'	2 1/2"	10' x 10'	See S-1
2	White Birch	10' - 12'	2 1/2"	10' x 10'	See S-2
1	Amelanchier	6' - 8'	1 1/2"	6' x 6'	See S-3

Quantity	Botanical Name	Caliper	Spacing	Notes
1	Green Ash	2 1/2"	10' x 10'	See S-4
1	Red Oak	2 1/2"	10' x 10'	See S-5
1	White Birch	2 1/2"	10' x 10'	See S-6
1	Amelanchier	1 1/2"	6' x 6'	See S-7
1	Red Oak	2 1/2"	10' x 10'	See S-8
1	White Birch	2 1/2"	10' x 10'	See S-9
1	Amelanchier	1 1/2"	6' x 6'	See S-10
1	Red Oak	2 1/2"	10' x 10'	See S-11
1	White Birch	2 1/2"	10' x 10'	See S-12
1	Amelanchier	1 1/2"	6' x 6'	See S-13

Quantity	Botanical Name	Caliper	Spacing	Notes
20-30	Red Oak	1 1/2"	10' x 10'	See S-14
20	White Birch	1 1/2"	10' x 10'	See S-15
20	Amelanchier	1 1/2"	6' x 6'	See S-16



100 North Commons Street
Suite 100
Muskegon, MI 49643
P 261.842.8822
F 261.842.8822

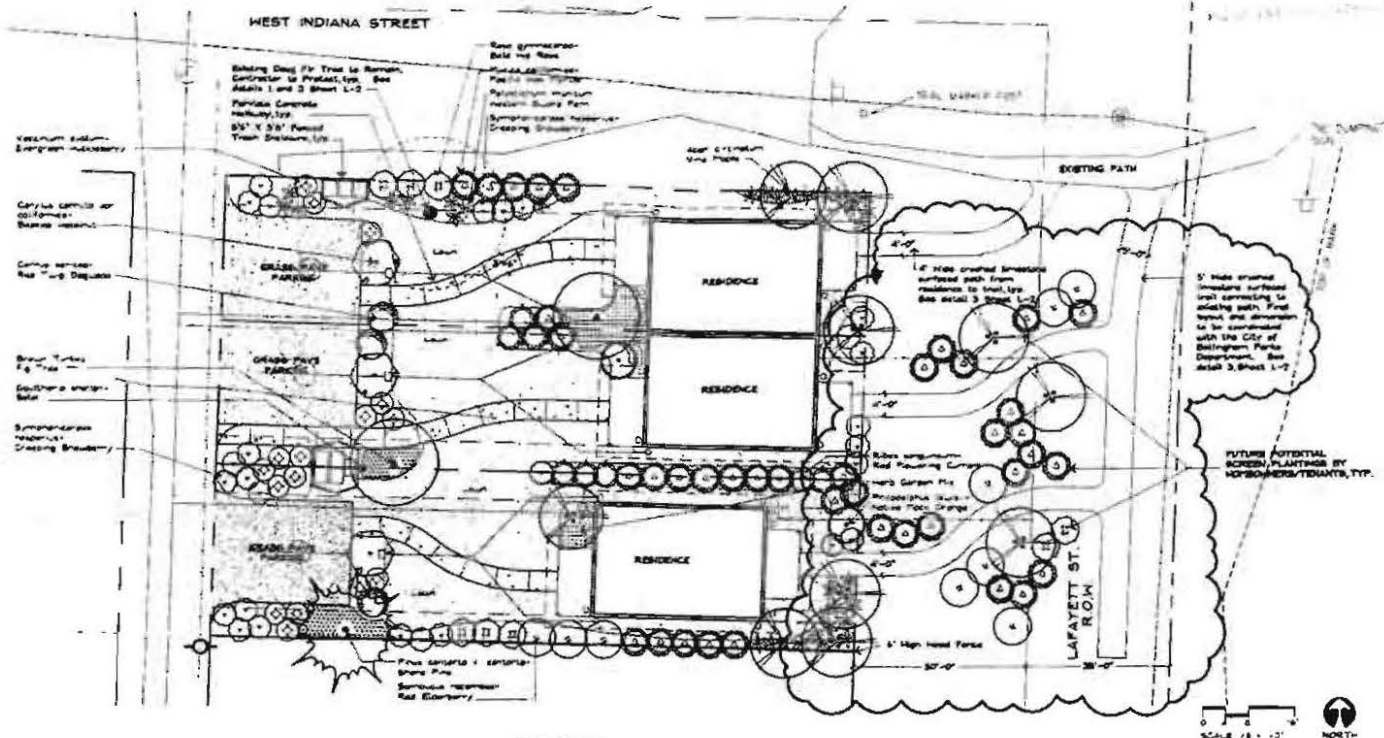


KULSHRUKA CONSULTANTS
LANDSCAPE ARCHITECTS
LAFAYETTE STREET
MUSKEGON, MI

KULSHRUKA CONSULTANTS
LANDSCAPE ARCHITECTS
100 COMMONS ST., SUITE 100
MUSKEGON, MI 49643

SCALE: 1/4" = 1'-0"

LANDSCAPE SITE PLAN - PERMIT SUBMITTAL SET



PLANT SCHEDULE

Trees

Quantity	Botanical Name	Common Name	Spacing	Ht.	Notes
1	Small tree	Small tree	10' x 10'	10'	Small tree
1	Small tree	Small tree	10' x 10'	10'	Small tree
1	Small tree	Small tree	10' x 10'	10'	Small tree

Shrubs

Quantity	Botanical Name	Common Name	Spacing	Ht.
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'
1	Small shrub	Small shrub	10' x 10'	10'

Groundcover, Palms and Ferns

Quantity	Botanical Name	Common Name	Spacing	Ht.
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'
1	Small groundcover	Small groundcover	10' x 10'	10'

mia

38 North Central, Suite 1
 Suite 100
 Birmingham, AL 35203
 P: 205.944.1882
 F: 205.944.3888
 mia@miaplanning.com

DATE: 11/11/2024

PROJECT: KULDIAN COMMUNITY LANDTRUST LAFAYETTE STREET HOMES

BLDG: 110

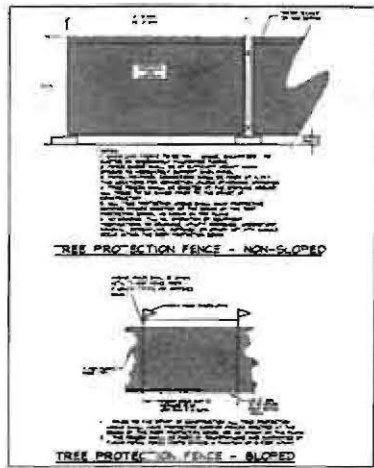
DESIGNER: KULDIAN COMMUNITY LAND TRUST 1100 11TH AVENUE SOUTH SUITE 100 BIRMINGHAM, AL 35203

SCALE: 1/8" = 1'-0"

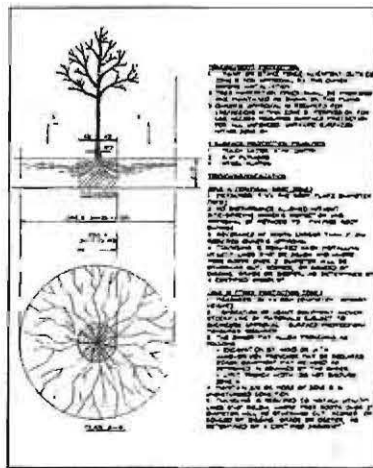
LANDSCAPE SITE PLAN PERMIT SUBMITTAL SET

LANDSCAPE SITE PLAN

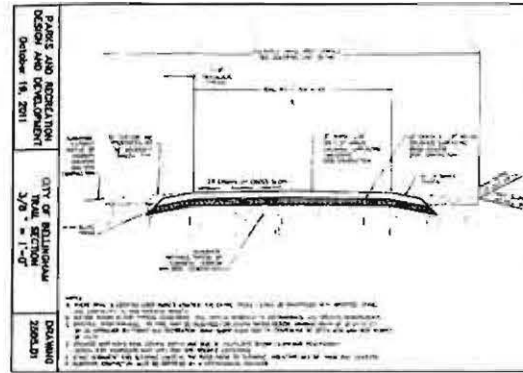
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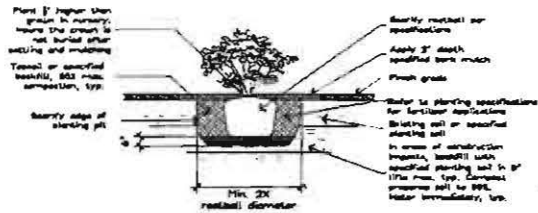
1 TREE PROTECTION FENCING
SCALE: 1/8" = 1'-0"



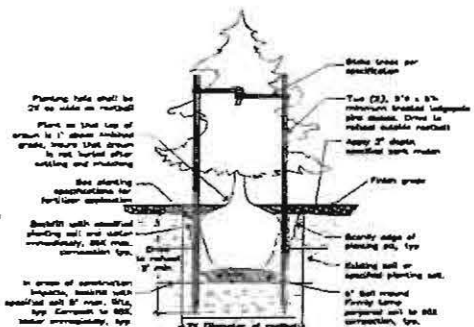
2 TREE PROTECTION FENCING OPTICAL ROOT ZONE
SCALE: 1/8" = 1'-0"



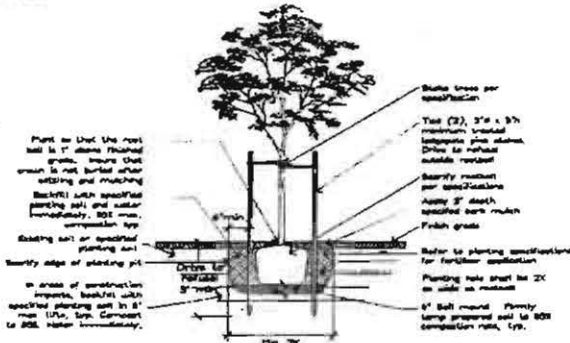
3 CORNER TYPICAL TREE SECTION
SCALE: 1/8" = 1'-0"



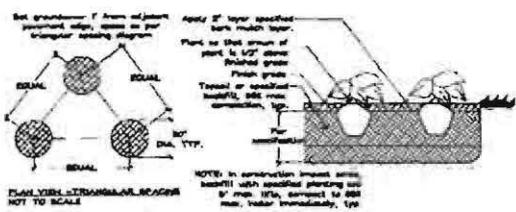
4 TYPICAL SHRUB PLANTING
SCALE: 1/8" = 1'-0"



5 TYPICAL CONIFER PLANTING
SCALE: 1/8" = 1'-0"



6 TYPICAL TREE PLANTING AND STAKING
SCALE: 1/8" = 1'-0"



7 TYPICAL GROUNDCOVER PLANTING
SCALE: 1/8" = 1'-0"



300 NORTH COMMERCIAL STREET
SUITE 204E
MILLERSVILLE, MD 21102
• 410-342-1932
• 410-342-3000
RMLIA@RMLIA.COM



PROJECT
KULSHAN COMMUNITY
LANDTRUST
LAFAYETTE STREET
HONES
CLIENT

SHEET TITLE
LANDSCAPE DETAILS

SCALE DATE
PROJECT NUMBER 43117

DATE

L-2

PROJECT NO.

LANDSCAPE SITE PLAN - PERMIT SUBMITTAL SET



2939 Lafayette Street, Bellingham, WA

Perspective View Looking Southeast

JAN 11 2014



2939 Lafayette Street, Bellingham, WA

Perspective View Looking Northwest

Kershner, Lindsay M.

To: Bryson, Leslie B.
Subject: RE: KCLT project

From: Bryson, Leslie B.
Sent: Tuesday, February 04, 2014 2:49 PM
To: Kershner, Lindsay M.
Subject: KCLT project

Lindsay:

Thanks for sending me information and meeting with me about this project. Parks and Recreation is supportive of the project, and of not constructing Lafayette Street. We look forward to reviewing final plans for trail connections, paths and landscaping.

Leslie Bryson

Design and Development Manager
City of Bellingham Parks and Recreation Dept.
360-778-7000
lbryson@cob.org

My incoming and outgoing email messages are subject to public disclosure requirements per RCW 42.56

Kershner, Lindsay M.

From: Baldwin, Brent L.
Sent: Tuesday, February 04, 2014 2:21 PM
To: Kershner, Lindsay M.
Subject: KCLT project

Lindsay,

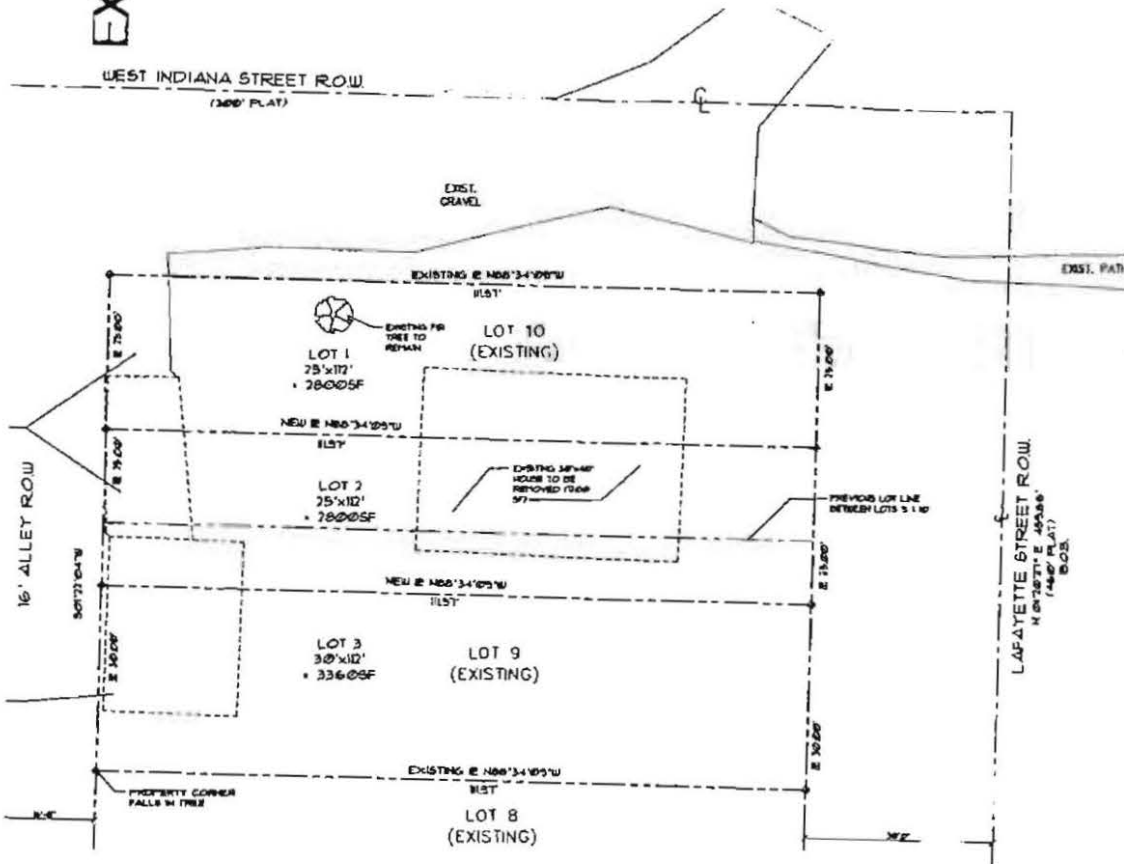
The Public Works Department supports the modification request to allow development without construction of Lafayette Street and allow access off the improved alley. This recommendation is based on the previous HE variance approved for the adjacent properties on Lafayette Street. Per BMC 18.12 additional right of way for Lafayette Street is not required for circulation.

EXHIBIT F

RECEIVED

NOV 26 2013

City of Bellingham
Planning & Community Development



LAND USE INFORMATION

ADDRESS: 1519 LAFAYETTE ST
BELLINGHAM WA 98225

PARCEL NUMBER: 50613 / 10077488100000

LEGAL DESCRIPTION: ELDRIDGE SECOND ADDITION TO BELLINGHAM LOTS 9-10 BLOCK 10 - 10C COAL DEPOSITS

LOT ID#: 0060 #1 LOTS 9 - 10 (EXISTING)

PROJECT DESCRIPTION: SUBDIVIDE ONE LOT INTO THREE LOTS LABELED 1, 2, AND 3 TO CONSTRUCT ONE DETACHED BY RESIDENCE AND ONE ATTACHED BY RESIDENCE / DUPLEX UNDER DETONATION HOUSING ORDINANCE SPEC 26.7

TOPOGRAPHY: FLAT - NO CUT AND FILL - USE EXCAVATED SOILS ON SITE

APPLICANT: KILBHAM COMMUNITY LAND TRUST (KCLT) 1003 COMMERCIAL STREET SUITE 6 BELLINGHAM WA 98225

REQUEST FOR REGULATORY MODIFICATIONS

MINIMUM LOT SIZE: REQUIRED: 4000 SF. PROPOSED: 2000 SF AND 3,360 SF

MINIMUM STREET FRONTAGE: REQUIRED: FRONT ON MINIMUM 51-FOOT STREET AND MINIMUM LOT WIDTH IS 30'

PROPOSED: USE THE ALLEY FOR ACCESS AND NOT DEVELOP IN INDIANA OR LAFAYETTE STREETS. THE ATTACHED LOT WIDTHS WILL BE 30' WIDE FOR LOTS 1 AND 2 AND 30' FOR LOT 3.

SETBACKS LOT 1 AND 2: ATTACHED BY CODE IS SPEC 26.32.045 E 1

REQUIRED: FRONT YARD - 40' CL, 0.9 FL. PROPOSED: 2' FL TO PORCH POST / 8' FL TO WALL

SETBACKS LOT 3: DETACHED BY CODE IS SPEC 26.32.046 F 1

REQUIRED: FRONT YARD - 7.5' FL. PROPOSED: 4' FL TO PORCH POST / 16' FL TO WALL

STORMWATER MANAGEMENT

Stormwater management of lots 1-3 shall comply with BMC 15.42. All existing impervious surfaces shall be removed including existing house, garage, and gravel-concrete driveway. No existing impervious surfaces shall remain. New impervious surfaces shall be as follows:

New Houses:	20'x30' = 600 SF x 3 units =	1800 SF
New Porches:	6'x12' = 72 SF x 6 porches =	432 SF
Total new impervious:		2232 SF
If Alley is developed by KCLT add: 16' x 80' =		1280 SF
If trail in Lafayette Street and connecting walks to Homes are developed by KCLT add (4'x40'x3 = 480 SF) + (5'x80' = 400 SF) =		880 SF
Total new impervious for entire project =		4192 SF

(no engineered analysis required)

Each lot shall be limited to the following impervious area 5000/3 (square footage):

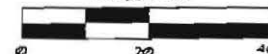
Lot 1 = 1666 SF, Lot 2 = 1666 SF, Lot 3 = 1666 SF

Any lot within this short plat may exceed the designated square footage limit if the city approves an engineered Stormwater Site Plan for the parent parcel that demonstrates allocated square footage of the impervious surface is less than 10,000 square feet and does not exceed a 0.1 cubic foot per second increase in flow from the pre-developed condition for the 100 year storm event as identified by a qualified continuous flow duration model. The Stormwater Site Plan shall consider a proportionate division of flow rates to lot square footage.

SITE PLAN

1" = 20'-0"

SCALE 1" = 20'



KCLT HOMES
2939 LAFAYETTE ST., BELLINGHAM, WA 98225
PRELIMINARY SHORT PLAT

RECORD OF PROCEEDINGS OF
THE HEARING EXAMINER
CITY OF BELLINGHAM

REGULAR HEARING

WEDNESDAY, FEBRUARY 12, 2014 6:00 P.M. CITY COUNCIL CHAMBERS

CALL TO ORDER: The regular hearing of the Hearing Examiner was called to order.

ROLL CALL: Staff Members Present: Lindsay Kershner, Planner I
Kathy Bell, Planner II
Kurt Nabbefeld, Senior Planner
Recording Secretary: Kristina J. Bowker

2. SUB2013-00029 / PCD2013-00011 / DRC2013-00017: Kulshan Community Land Trust is proposing to develop three dwelling units through the Demonstration Program for Innovative Permanently Affordable Home ownership. The proposal includes a 50% density bonus to allow the construction of one additional unit for a total of three single-family units. The proposal includes two attached single-family units and a detached single-family unit. Subdivision of the property is proposed to place each unit on a fee simple/separate lot. The Hearing Examiner makes a recommendation to City Council for the demonstration program and if approved will ensure permanent affordability of the homes. The property is located at 2939 Lafayette Street, and legally described as Lots 9 – 10, Block 10, Eldridge's 2nd Add to Bellingham. Kulshan Community Land Trust, applicant/owner; Dean Fearing and Erin Bren, contacts (360) 671-5600. Residential Multi, Duplex Land Use Designation. Birchwood Neighborhood, Area 14.

DS – Item number two, is a request by Kulshan Community Land Trust. The Hearing Examiner makes a recommendation to the City Council for this program, but she does hold the open public hearing, so this is your opportunity to comment. Swears in staff and those wishing to comment. Stated that she is familiar with the site and reviewed the materials in the packet. Additional materials are large-scale copies, color photographs, elevations, and site plans. We will begin with the staff report.

STAFF PRESENTATION:

Lindsay Kershner – Some of the existing conditions surrounding the lot, Lafayette is unimproved right-of-way. W. Indiana is improved to a lesser standard, as part of the Harrid Pack Short Plat. Lafayette Street also has an informal trail that is used by the public to connect to Squalicum Creek Park and the Bay to Baker Trail. The property owners to the south of 2939 Lafayette Street, Lots 5 - 8, received a variance from having to construct Lafayette Street for primary access and construct the alley instead, with stormwater improvements, and also to improve the Lafayette Street trail from Lot 8 north

the edge of the subject property. Currently, the proposed project will connect to the Lafayette Street portion of the trail, or north to the path in W. Indiana Street. Parks is working on it, pending the final construction in Lafayette Street. If approved, the three lots will have individual dwelling units. Lots 1 and 2 will be 2,800 square feet in size and Lot 3 will be 3,360 square feet. Each of the dwelling units will have 1,200 square feet of floor area. The current zoning is 4,000 square feet per dwelling unit. The project was reviewed against the multi-family design standards under BMC. It was approved by the Planning Director. They are requesting modifications from street frontage, lot size, and building setbacks. Parks, Public Works and Fire have recommended approval of the Short Plat and building design. Generally there is support of the project. Staff agrees that there is limited storage for the residents, and recommended that storage units be added to each property. Staff believes KCLT has met the requirements of the Demonstration Program. KCLT has requested to have impacted fees waived. Some federal funding has been allocated for impact fees. If approved, this project will provide permanent affordable housing in a manner compatible with the Birchwood Neighborhood. Recommends approval to City Council for the Short Plat and Demonstration Program.

Kurt Nabbefeld – A variance from the front-yard setback is not required, per BMC 20.10.080D. When the plat was originally filed they dedicated the entire 55' of Lafayette, so the adjacent property to Parks was never dedicated. BMC 20.10.080 says that when you don't have a street that meets the minimum requirement, which is a 60' width, the setback is taken from the dedication line. The property line is the setback requirement.

APPLICANT PRESENTATION:

Dean Fearing, KCLT, 1303 Commercial Street – Executive Director. We are the only organization to-date to use the demonstration project. This project will mirror Matthei Place in many ways. Since 2010 they have been working on a three-phase project: Matthei Place, six houses across the street on Indiana, and now this project. By building three homes it keeps the cost of the homes down. All the recommendations from the city and the neighbors, they concur with. The storage sheds aren't a problem. They are happy to be good neighbors.

Hearing Examiner – There were several pages of your ground lease in the materials. What happens if the home owner wants to make changes to the building?

Dean Fearing – They can't make improvements (like marble counter tops) and then expect to get a return on that money, because that would push the affordability for the next home owner. They can still make improvements, but if it were to push the affordability, then KCLT wouldn't sign-off on it.

Hearing Examiner – If they wanted to put up an additional accessory building or add a garage? Or, just make some changes to the exterior?

Dean Fearing – They have to get KCLT approval.

Lindsay Kershner – That could be added as a condition, any exterior changes have to get multi-family design review approval. Whatever new construction would be compatible with the Demonstration Program.

Hearing Examiner – Any problems with adding a condition?

Dean Fearing – None of the other homes they have built to-day have had a condition, but if staff are recommending that, then they don't have a problem.

Hearing Examiner – It's just to comply with the conditions of the demonstration program. Anyone like to comment?

PUBLIC HEARING OPENED

PUBLIC TESTIMONY:

Elizabeth Li, 114 W. Magnolia, Ste. 406 – Her and her husband own Lots 5 and 6 on this block. Their only concern at this point is the alley access and people blocking it. Her husband is a contractor and drives a large truck. They will be accessing the paved portion of the alley from W. Indiana. Concerned that there will be encroachments. There have been minor encroachments in the past year during development. When an alley is developed people may treat it differently. Lot A could take access from W. Indiana so one less household would be using the alley. They would like a fence to be installed. Most of the corner lots take access from the main road, nine of them in the area do. There is stuff in developed alleys, so they are concerned. This is chance they have to step forward and say that corner neighbors can take access from the street, rather than the alley. It would help a lot to have one less household driving into the alleyway. Perhaps they can put "no parking/no blocking" signs. Just wants people to know not to encumber the alley.

Kurt Baumgarten, 2807 Patton Street – Own Lots 7 and 8 immediately to the south of the proposal with his wife. As far as lot orientation and parking go, they are supportive of the project as-designed, but would also support the driveway being turned. They support fencing and exterior storage since these are small houses with no garages. Something to store at least your basic yard maintenance materials. We are half-way through their alley project and next week the final phase of excavating for gravel and paving will be done. It's about a 500' alley, have paved and half gravel. The trail will be connected to the south. They are longtime supporters of KCLT. Things these will be really good homes.

Lindsay Kershner – One of the reasons that we would prefer that all lots take alley access is because of the informal trail just north of the Lot A property line. Having access come off W. Indiana could have drivers going over the trail. In the multi-family design guidelines it is standard to use the alleys for access when available. There is also an exit on the south end of the alley, if someone was blocking the north end. Staff would be amenable to have "no parking" signs. They don't need a modification from the front-yard setback.

Hearing Examiner – What are parking pads are going to be?

Dean Fearing – Grass.

Hearing Examiner – Will they be well-marked?

Dean Fearing – There will be fences around the recycling/garbage, and that will help define the parking spaces.

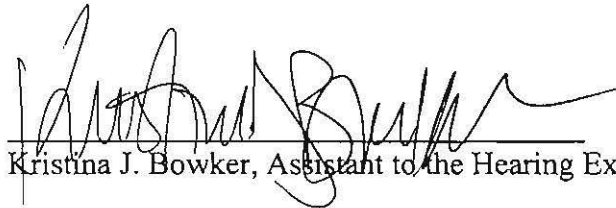
Lindsay Kershner – The parking spaces are 24' deep, typical ones are only 18' so they will have a little more room to pull forward off the alley.

Hearing Examiner – Will issue a recommendation on this and the Council has scheduled March 10th for this item.

PUBLIC HEARING CLOSED

ADJOURN: 8:30 PM

Prepared by:


Kristina J. Bowker, Assistant to the Hearing Examiner

Reviewed by:


Lindsay Kershner, Planner I



BELLINGHAM CITY COUNCIL

210 Lottie Street, Bellingham, Washington 98225
Telephone (360) 778-8200 Fax (360)778-8101
Email: ccmail@cob.org Website: www.cob.org

BELLINGHAM CITY COUNCIL NOTICE OF CLOSED RECORD HEARING

Notice is hereby given that the Bellingham City Council will hold a closed record hearing on **Monday, March 10, 2014**, during the meeting of the **Committee Of The Whole**, in the **Council Chambers, City Hall, 210 Lottie Street, Bellingham, Washington**, for the purpose of the following:

CONSIDERATION OF A DEMONSTRATION PROGRAM FOR INNOVATIVE PERMANENTLY AFFORDABLE HOMEOWNERSHIP PROJECT PER BELLINGHAM MUNICIPAL CODE (BMC) 20.27. KULSHAN COMMUNITY LAND TRUST (KCLT) HAS APPLIED TO DEVELOP THREE DWELLING UNITS IN THE FORM OF TWO ATTACHED SINGLE FAMILY RESIDENCES AND A DETACHED SINGLE FAMILY RESIDENCE THROUGH BMC 20.27. THE HEARING EXAMINER WILL HOLD A PUBLIC HEARING ON THE MATTER ON FEBRUARY 12, 2014 AND MAKE A RECOMMENDATION ON THE APPLICATION TO CITY COUNCIL. CITY COUNCIL WILL CONDUCT A CLOSED RECORD HEARING ON THE MATTER AND IF APPROVED WILL ENSURE PERMANENT AFFORDABILITY OF THE HOMES. THE PROPERTY IS LOCATED AT 2939 LAFAYETTE ST., ON THE SOUTHWEST CORNER OF LAFAYETTE AND W. INDIANA STREETS. ASSESSOR'S PARCEL # 380224081345; BIRCHWOOD NEIGHBORHOOD, AREA 14; RESIDENTIAL MULTI, DUPLEX ZONING DESIGNATION.

A "closed record" hearing means that Council cannot take any new testimony or accept any new information for the record. Copies of the record are available for review in the Council Office. An electronic copy will be provided upon request.

The time of the hearing will be available on the City Council's Meeting Agenda for March 10, posted on the City's website @ <http://www.cob.org/web/council.nsf/webmaterials> which will be posted on Thursday, March 6th, by 5:00 PM. Copies of the Agenda will also be available at City Hall and at the Central Library.

For additional information, please contact Lindsay Kershner, Planning, 360-778-8369 or by email at LKershner@cob.org.

For our citizens with special needs, the Council Chambers is fully accessible. Elevator access to the second floor is available at City Hall's west entrance. Hearing assistance is available in the Council Chambers and a receiver may be checked out through the clerk prior to the evening session. For additional accommodations, please contact Tracy Lewis at 778-8100 in advance of the meeting. Thank you.

Publication date: Monday, February 10, 2014

JACK WEISS
Council Member
1st Ward
738-2103

GENE KNUTSON
Council Member
2nd Ward
734-4686

CATHY LEHMAN
Council Member
3rd Ward
224-8877

PINKY VARGAS
Council Member
4th Ward
778-8210

TERRY BORNEMANN
Council Member
5th Ward
305-0606

MICHAEL LILLQUIST
Council Member
6th Ward
778-8212

ROXANNE MURPHY
Council Member
At Large
778-8211

Allan & Kirsten Pack
2700 W Illinois St
Bellingham, WA 98225

Marlo & Charlene Sundseth
2906 Madrona St
Bellingham, WA 98225

Nancy Moore
2831 Madrona St
Bellingham, WA 98225

Matthew & Jill Kauffman
2938 Madrona St
Bellingham, WA 98225

Christopher & Wendy Johnson
2900 Madrona St
Bellingham, WA 98225

John & Maribeth Yarbrough
610 Kentucky St
Bellingham, WA 98225

Timothy & Natalie Page
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Bellingham, WA 98225

Christine Woodward
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Bellingham, WA 98225

Galen & Mary Bliss
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Bellingham, WA 98225

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Mukilteo, WA 98275-7914

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Janet Elsea
2920 Madrona St
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Quinn Irving
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Bellingham, WA 98225

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Bellingham, WA 98225

John & Nelly Herford
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Bellingham, WA 98225

Anthony Thompson
2919 Madrona St
Bellingham, WA 98225

Roger & Estigenia Kreyer
2924 Patton St
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Tiffany Bernhard
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Bellingham, WA 98225

Csaba Horyath & Elizabeth Li
114 W Magnolia St #406
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Kurt Baumgarten & Emily Jones
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Bellingham, WA 98225

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Community News Dept
1155 N State St
Bellingham, WA 98225

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MNAC – Birchwood
907 W Connecticut St
Bellingham, WA 98225

April Baker
Birchwood Neighborhood Assn
3127 Birchwood Ave
Bellingham, WA 98225

December 26, 2013

Lindsay Kershner – Planner
Planning and Community Development Department
City of Bellingham
210 Lottie Street
Bellingham, WA 98225

RE: Kulshan Community Land Trust (KCLT) - PDC2013-00011, DRC2013-00017, SUB2013-00029

Dear Ms. Kershner-

My wife, Emily, and I respectfully submit the following comments regarding the proposed KCLT development at 2939 Lafayette Street. Emily and I have been strong KCLT supporters for over a decade and we own the two lots (7&8) immediately south of the proposal. As you know, we are currently in the process of developing the alley that this project will likely use for access and the City Parks trail that will front the homes (ES-0480). Additionally, we hope to build our own home next door in the very near future. As such, we are in a unique position to provide comment.

We are extremely supportive of this project as proposed in the drawing provided to us with the "Notice of Application." We trust KCLT will build high quality energy efficient homes that fit the neighborhood character and remain permanently affordable. These homes will be an asset to the neighborhood and community at large as is evident by the six other KCLT homes in the immediate vicinity.

Our comments fall into three main categories – lot orientation and parking, fencing, and exterior storage. The following should help provide appropriate mitigation for the requested additional 50% density bonus.

Lot Orientation and Parking

The proposed orientation of the lots and location of parking for the homes represents the best access while retaining the maximum street parking on W. Indiana for visitors. Alley access keeps the section of W. Indiana immediately adjacent to Lot 1 available for on street parking. Additionally, the proposed lot configuration results in only one residence abutting our property line. This is far more desirable than having multiple backyards (and neighbors) facing our side yard.

Fencing

Fencing is proposed for the garbage enclosures and along the property line shared with our lot (8). Both of these fences are appropriate mitigation for the increased density and reduced lot size. We are very supportive of the locations of the fencing as depicted in the application drawing.

Exterior Storage

As proposed, there is no exterior storage for any of the residences. We propose that enough exterior storage be provided to accommodate basic yard maintenance tools.

Perhaps, to keep cost down, one storage unit could be shared by the two attached single family units resulting in a total of two small storage units.

Thank you for consideration of our comments. We look forward to seeing this important project come to fruition.

Sincerely,

Kurt and Emily

Kurt Baumgarten and Emily Jones
2807 Patton St.
Bellingham, WA 98225
360.671.1975